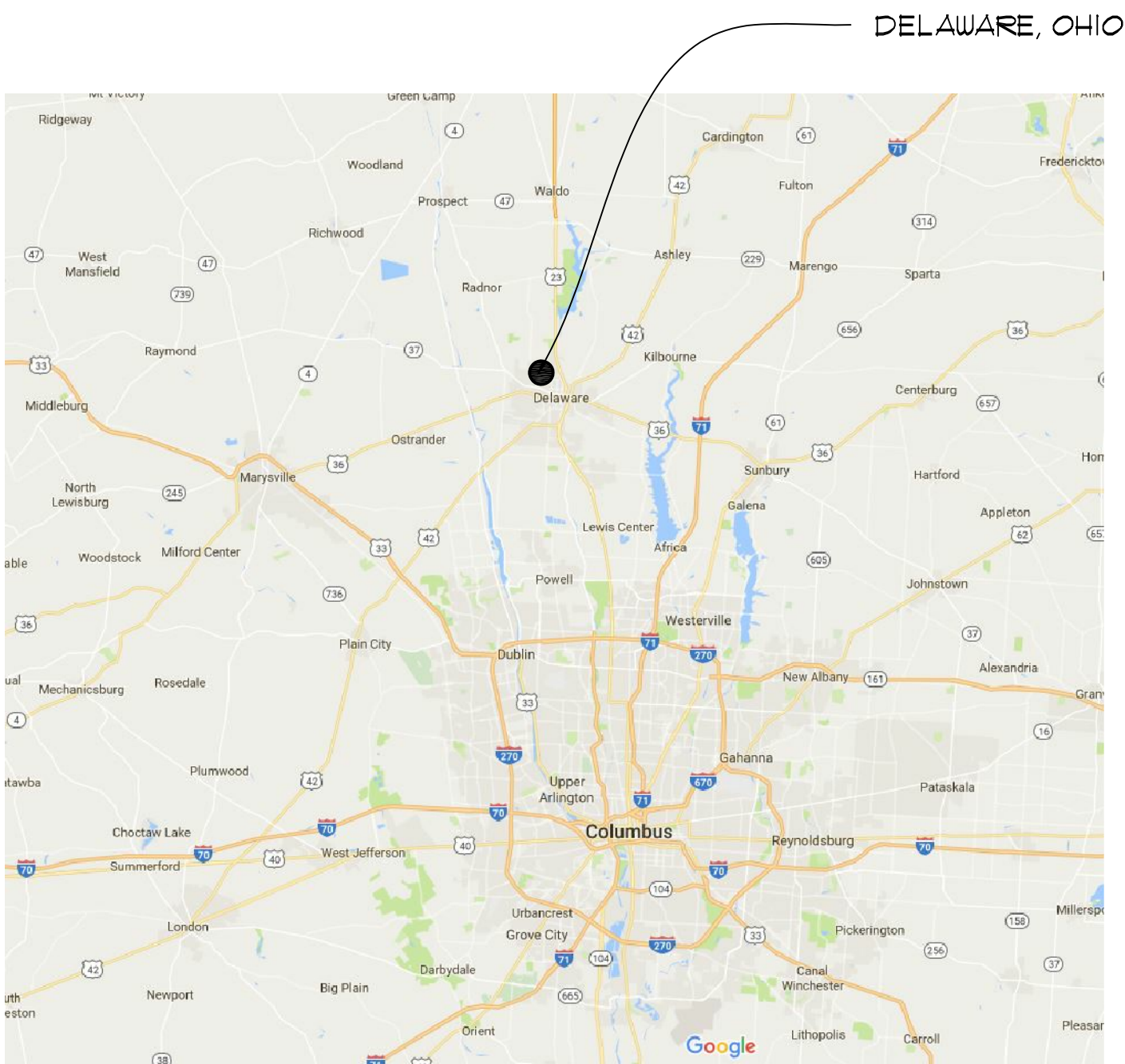
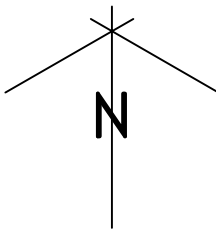


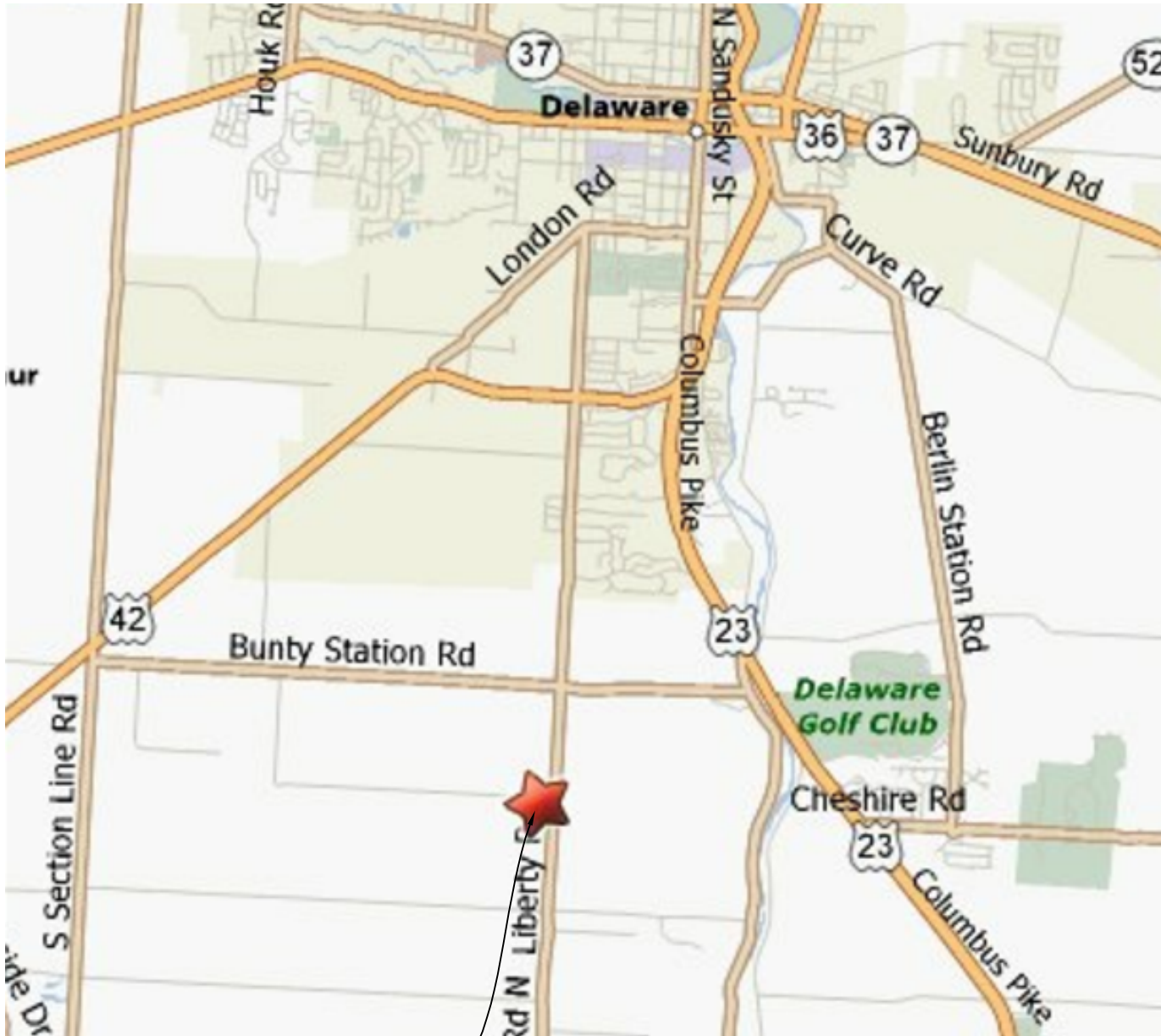
DEER HAVEN PARK  
VISITOR CENTER  
OFFICE RENOVATION



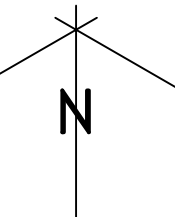
VICINITY MAP  
NOT TO SCALE



PRESERVATION PARKS  
DELAWARE COUNTY



LOCATION MAP  
NOT TO SCALE



INDEX OF DRAWINGS

COVER SHEET	
G1	PROJECT INFORMATION
G2	GENERAL NOTES, ABBREVIATIONS & DRAWINGS SYMBOLS
SD1	SITE DEVELOPMENT & UTILITY PLAN
A10	EXISTING COMPOSITE PLAN
A20	PLANS AND SCHEDULE
A30	EXISTING ELEVATIONS
A40	SECTIONS & DETAILS
A50	WINDOW AND DOOR DETAILS
ME10	HVAC & ELECTRICAL PLANS
ME20	PANEL AND FIXTURE SCHEDULES



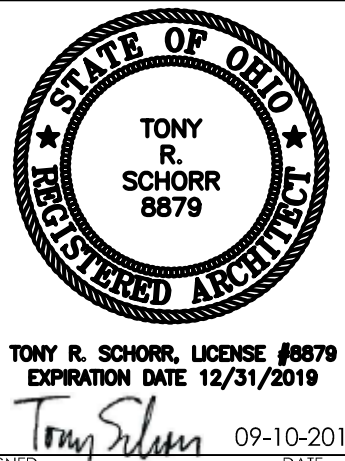
CD/BIDDING: 09-10-2019



COVER SHEET

DESIGNED BY:	LR	JOB NUMBER:	1917
DRAWN BY:	ES	SCALE:	AS SHOWN
CHECKED BY:	LR	DATE:	09-10-2019
APPROVED BY:		REVISED:	

DEER HAVEN PARK  
VISITOR CENTER  
OFFICE RENOVATION  
DELAWARE, OHIO





BUILDING CODE INFORMATION

THIS PROJECT INVOLVES THE CONVERSION OF A COVERED EXTERIOR PORCH/PATIO AREA INTO AN INTERIOR OFFICE AND EGRESS CORRIDOR, INCLUDING ELECTRICAL AND MECHANICAL UPGRADES.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

A-2, A-3, B, & S-1 NON-SEPARATED, MIXED USE

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

A, B, & S ALLOWABLE HEIGHT (TABLE 504.3): 40 FEET

A-2, A-3, B, S-1 ALLOWABLE STORIES (TABLE 504.4)  
MOST RESTRICTIVE: 1 STORY

PROPOSED HEIGHT: 1 STORY, 20 FEET

ALLOWABLE AREA FACTOR (TABLE 506.2)

A-2: 6,000 SF

A-3: 6,000 SF

B: 9,000 SF

S-1: 9,000 SF

A-2 / A-3 MOST RESTRICTIVE

FRONTAGE INCREASE (506.3)

If = (P/P - 0.25) W/30

= (510/510 - 0.25) 30/30

= 0.75

ALLOWABLE AREA (SECTION 506)

Aa = At + (Ns x If)

= 6,000 + (6,000 x 0.75)

= 10,500 SF ALLOWABLE

PROPOSED AREA: 4,454 SF

CHAPTER 6 - TYPES OF CONSTRUCTION

CONSTRUCTION TYPE VB

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)

STRUCTURAL FRAME 0 HR

BEARING WALLS - EXTERIOR 0 HR

BEARING WALLS - INTERIOR 0 HR

NON-BEARING WALLS AND PARTITIONS - EXTERIOR 0 HR

NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR

FLOOR CONSTRUCTION 0 HR

ROOF CONSTRUCTION 0 HR

\* EXTERIOR WALLS - FIRE SEPARATION DISTANCE (TABLE 602)

NORTH: >30" = NOT RATED

SOUTH: >30" = NOT RATED

EAST: >30" = NOT RATED

WEST: >30" = NOT RATED

CHAPTER 8 - INTERIOR FINISHES

INTERIOR WALL AND FINISH REQUIREMENTS (TABLE 803.11)

OCCUPANCY A-2 / A-3 MOST RESTRICTIVE:

INTERIOR EXIT STAIRWAYS & RAMPS & EXIT

PASSAGEWAYS - CLASS 'B'

CORRIDORS & ENCLOSURES FOR EXIT ACCESS

STAIRWAYS & RAMPS - CLASS 'B'

ROOMS AND ENCLOSED SPACES - CLASS 'C'

CHAPTER 9 - FIRE PROTECTION SYSTEMS

NONE

CHAPTER 10 - MEANS OF EGRESS

MAXIMUM COMMON PATH OF TRAVEL (1006.2.1):

A OCCUPANCY: 15 FEET

B OCCUPANCY: 100 FEET

S OCCUPANCY: 100 FEET

MAXIMUM EXIT ACCESS TRAVEL DISTANCE (TABLE 1012):

A OCCUPANCY: 200 FEET

B OCCUPANCY: 200 FEET

S OCCUPANCY: 300 FEET

CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1):

A, B, & S OCCUPANCY (WITHOUT SPRINKLERS):

OCCUPANT LOAD NOT GREATER THAN 30, NO RATING REQUIRED

CHAPTER 10 - MEANS OF EGRESS

EGRESS WIDTH (1005)

200 OCCUPANTS \* 0.2 INCHES/OCCUPANT = 38 INCHES REQUIRED (44" MINIMUM)

292 INCHES PROVIDED

CHAPTER 10 - MEANS OF EGRESS

OCCUPANT LOAD (TABLE 1004.1.2)					
ROOM NO.	ROOM NAME	AREA	NET AREA	AREA / OCC.	OCCUPANT LOAD
100	ENTRY	158 SF	-	-	-
101	OFFICE	85 SF	-	15	1
102	VIEWING AREA	626 SF	-	15	58
103	LIBRARY	426 SF	-	15	34
104	CORRIDOR	106 SF	-	-	0
105	JANITOR	38 SF	-	300	0
106	MEN'S RESTROOM	121 SF	-	-	0
107	WOMEN'S RESTROOM	121 SF	-	-	0
108	CLASSROOM	685 SF	-	15	54
109	STORAGE	85 SF	-	-	0
110	KITCHEN	54 SF	-	200	2
111	CHASE	21 SF	-	300	0
112	COATS	10 SF	-	300	1
113	CLOSET	9 SF	-	300	1
114	OFFICE #2	149 SF	-	15	4
115	CORRIDOR	154 SF	-	-	0
001	STAIRS	88 SF	-	-	0
TOTAL OCCUPANTS:					155

CHAPTER 29 - PLUMBING SYSTEMS

MINIMUM NUMBER OF PLUMBING FACILITIES (TABLE 2902.1)

CLASSIFICATION	NUMBER OF OCCUPANTS	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS
		MALE	FEMALE	MALE	FEMALE			
A-2 ASSEMBLY	146	1:75	1:75	1:200	1:200	-	1:500	1
A-3 ASSEMBLY	30	1:125	1:65	1:200	1:200	-	1:500	1
BUSINESS	8	1:80	1:40	1:40 (FIRST 80 OCC.)	1:40	-	1:100	1
STORAGE	3	1:100	1:100	1:100	1:100	-	1:1000	1

PLUMBING FACILITIES CALCULATIONS:

CLASSIFICATION	NUMBER OF OCCUPANTS (PER SEX)	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS
		MALE	FEMALE	MALE	FEMALE			
A-2 ASSEMBLY	13	0.91	0.91	0.31	0.31	-	0.29	
A-3 ASSEMBLY	15	0.12	0.23	0.08	0.08	-	0.06	
BUSINESS	4	0.05	0.05	0.01	0.01	-	0.08	
STORAGE	15	0.02	0.02	0.02	0.02	-	0.003	
TOTAL:		1.16	1.21	0.48	0.48	-	0.433	
TOTAL REQUIRED FIXTURES:		2	2	1	1	-	1	1
TOTAL PROVIDED FIXTURES:		MALE: 1 W.C. & 1 URINAL FEMALE: 2 W.C. 2 DRINKING FOUNTAINS - HI/LOW 1 SERVICE SINKS						

BUILDING CODE DATA - GENERAL

APPLICABLE CODES:	
BUILDING CODE:	2017 OHIO BUILDING CODE, WITH UPDATES
MECHANICAL CODE:	2017 OHIO MECHANICAL CODE, WITH UPDATES
PLUMBING CODE:	2017 OHIO PLUMBING CODE, WITH UPDATES
FIRE CODE:	2017 OHIO FIRE CODE
ELECTRICAL CODE:	2017 OHIO ELECTRICAL CODE (NEC) - NFPA 70
ACCESSIBILITY CODE:	ICC/ANSI A117.1-2009

CODE PLAN LEGEND

→ EXIT XX	ASSUMED EGRESS LOAD AT MEANS OF EGRESS COMPONENT
▲ FE	FIRE EXTINGUISHER
▲ FEC	FIRE EXTINGUISHER & CABINET
(X)	SIGNAGE, RE: 3/G1

DESIGN STRUCTURAL LOADS

GOVERNING CODE: 2017 OHIO BUILDING CODE

1. ROOF LIVE LOADS:

a. MINIMUM ROOF LIVE LOAD = 20 PSF

b. TRIBUTARY AREAS FROM 201 SF TO 600 SF = 20 PSF

c. TRIBUTARY AREA OVER 600 SF = 20 PSF

2. ROOF SNOW DESIGN PARAMETERS

a. GROUND SNOW LOAD Pg = 20.0 PSF

b. FLAT ROOF SNOW LOAD Pf = 15.4 PSF (HEATED ROOFS) 18.5 (UNHEATED ROOFS)

c. UNIFORM ROOF DESIGN SNOW LOAD = 15.4 PSF (HEATED ROOFS) 18.5 (UNHEATED ROOFS)

d. SNOW EXPOSURE FACTOR Ce = 1.0

e. SNOW LOAD IMPORTANCE FACTOR I = 1.1

f. THERMAL FACTOR Ct = 1.0 (HEATED ROOFS) 1.2 (UNHEATED ROOFS)

g. UNBALANCED AND DRIFTING SNOW LOADS PER ASCE 1-10

3. WIND DESIGN PARAMETERS

a. ULTIMATE DESIGN WIND SPEED Vult = 120 MPH

b. NOMINAL DESIGN WIND SPEED Vasd = 101 MPH

c. RISK CATEGORY III

d. WIND EXPOSURE CATEGORY = C

e. INTERNAL PRESSURE COEFFICIENT = +/-0.18(ENCLOSED AREAS) +/-0.55 (OPEN CANOPY AREAS)

f. STRENGTH LEVEL WIND DESIGN PRESSURES FOR COMPONENTS AND CLADDING (100SF TRIB. AREA):

ENCLOSED:

ROOF ZONE 1 = +16.1/-32.8

ROOF ZONE 2 = +16.1/-46.2

ROOF ZONE 3 = +16.1/-73.0

WALL ZONE 4 = +33.6/-37.0

WALL ZONE 5 = +33.6/-41.1

ROOF OVERHANG ZONE 2 = -13.1

ROOF OVERHANG ZONE 3 = -83.8

PARTIALLY ENCLOSED:

ROOF ZONE 1 = +28.5/-45.2

ROOF ZONE 2 = +28.5/-58.6

ROOF ZONE 3 = +28.5/-58.6

WALL ZONE 4 = +46.0/-48.4

WALL ZONE 5 = +46.0/-53.5

ROOF OVERHANG ZONE 2 = -13.1

ROOF OVERHANG ZONE 3 = -13.1

NOTE: REFER TO ASCE 1-10 FIG 30.4-1 AND 30.4-2B FOR WIND ZONES

a = 6.5'

4. SEISMIC DESIGN PARAMETERS

a. SEISMIC IMPORTANCE FACTOR = 1.25

b. SEISMIC OCCUPANCY CATEGORY = III

c. MAXIMUM CONSIDERED EARTHQUAKE GROUND MOTION AT 0.2 SECOND PERIOD,

Ss = 0.28g

d. MAXIMUM CONSIDERED EARTHQUAKE GROUND MOTION AT 1.0 SECOND PERIOD,

S1 = 0.6g

e. SITE CLASS = C

f. SDS = 0.102g

g. SD1 = 0.063g

h. SEISMIC DESIGN CATEGORY = A

i. BUILDING SYSTEM:

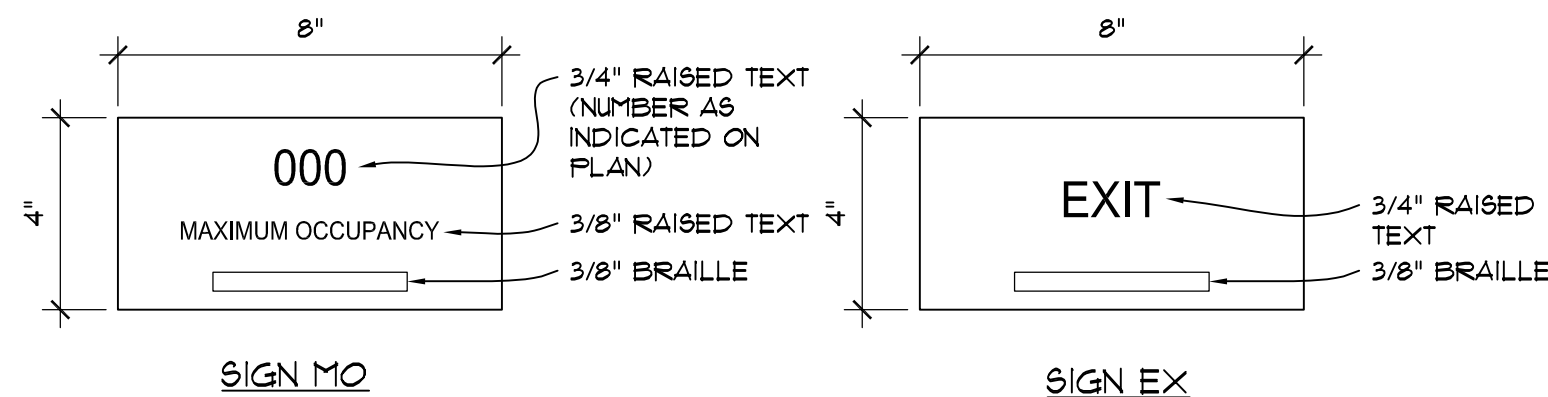
BEARING WALLS

5. SEISMIC RESISTING SYSTEM:

ORDINARY REINFORCED MASONRY SHEAR WALLS

6. RESPONSE MODIFICATION FACTOR, R = 2.0

7. DESIGN BASE SHEAR: V = 0.066W

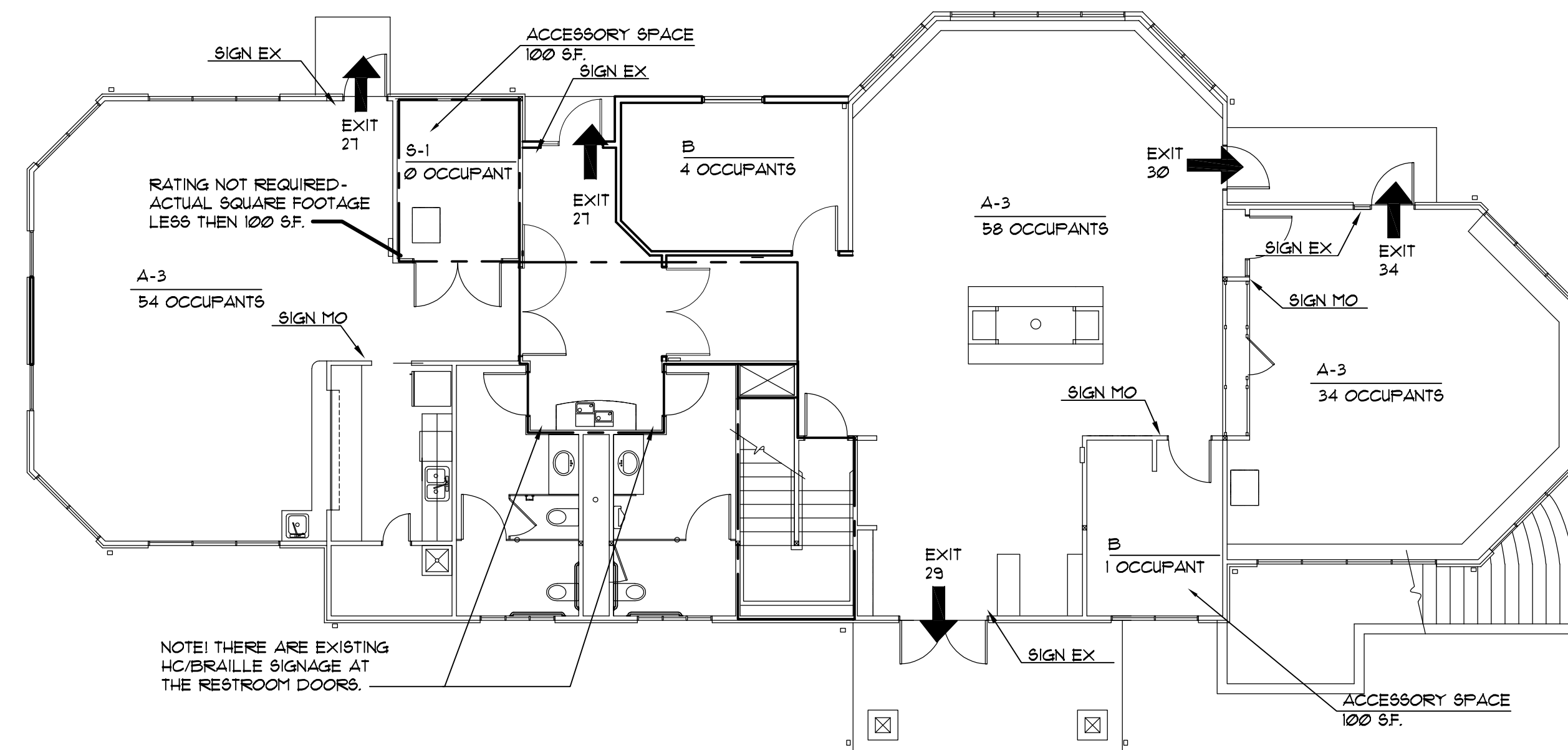
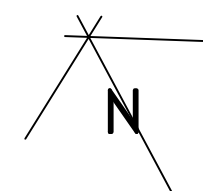


SIGNAGE GENERAL NOTES:

1. CONFIRM SIGN FONT AND COLORS WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
2. SIGNS TO BE HIGH CONTRAST BETWEEN GRAPHICS AND FIELD.
3. BRAILLE COLOR TO MATCH SIGN BACKGROUND COLOR.
4. MOUNT SIGNS SO THAT RAISED CHARACTERS ARE 48" MIN. ABOVE FLOOR MEASURED TO THE BASELINE OF THE LOWEST RAISED CHARACTER AND 60" MAX. ABOVE THE FLOOR MEASURED TO THE BASELINE OF THE HIGHEST RAISED CHARACTER.

2 SIGNAGE  
3" = 1'-0"

1 CODE PLAN  
1/8" = 1'-0"



PROJECT INFORMATION, CODE PLAN/ DATA AND STRUCTURAL LOADS

DEER HAVEN PARK  
VISITORS CENTER  
OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

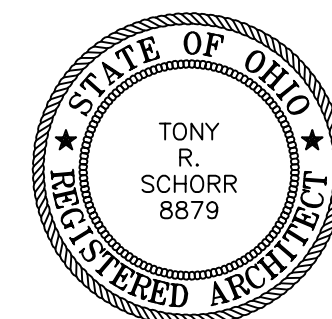
**schorr architects inc.** 230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

G1



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019

SIGNED *Tony Schorr* 09-10-2019  
DATE



GENERAL ARCHITECTURAL NOTES

- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCING THAT WILL COORDINATE WITH THE OWNER'S REQUIREMENTS AND ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEATHING, TEMPORARY BRACING, GUYS, OR TIE DOWNS WHICH MIGHT BE NECESSARY.
- DETAILS SHOWN ON THE ARCHITECTURAL DRAWINGS ARE PART OF THE STRUCTURAL REQUIREMENTS.
- ALL CONNECTIONS TO DEVELOP THE FULL STRENGTH OF THE FRAMING MEMBERS UNLESS OTHERWISE APPROVED.
- THE A/E'S RESPONSIBILITY IS LIMITED TO THE ITEMS SHOWN ON THE DRAWINGS. OBTAIN THE A/E'S SPECIFIC APPROVAL PRIOR TO DEVIATING FROM THE DRAWINGS FOLLOW THE BEST TRADE AND ENGINEERING PRACTICES FOR THE ITEMS NOT SPECIFICALLY DETAILED AND INDICATED.
- PROVIDED LINTELS OF ADEQUATE SIZE FOR ANY OPENINGS NOT SPECIFICALLY NOTED.
- THE A/E WILL PROCURE THE PLAN APPROVAL CERTIFICATE FROM STATE OF OHIO. THIS IS TO INCLUDE THE STRUCTURAL, ELECTRICAL AND HVAC PERMITS. THE ELECTRICAL CONTRACTOR SHALL PROCURE THE FIRE ALARM PERMIT.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODE REQUIREMENTS OF THE LOCAL AND STATE GOVERNING AUTHORITY, AND SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, FEES, AND INSPECTIONS OTHER THAN THAT NOTED IN ITEM 6 ABOVE. ANY PERMITS REQUIRED FOR HEATING OR ELECTRICAL THAT ARE IN ADDITION TO THAT NOTED IN ITEM 6 ABOVE SHALL BE PAID BY THE RESPECTIVE SUBCONTRACTOR BUT INCLUDED IN THE TOTAL COST OF CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED BUILDING AND/OR EXISTING STRUCTURE.
- REPAIR ANY EXISTING SURFACES/FINISHES DAMAGED DURING CONSTRUCTION TO EQUAL OR BETTER CONDITION.

GENERAL SITEWORK NOTES

- ALL CONTRACTORS WORKING WITH THE SITE IN ANY ASPECT SHALL REVIEW ALL SITE RELATED DRAWINGS AND SHALL COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR AND/OR OTHER CONTRACTORS.
- NOTIFY THE A/E IMMEDIATELY IF THERE ARE QUESTIONS REGARDING THE DRAWINGS AND/OR THE SPECIFICATIONS, IF UNUSUAL OR WET SOIL CONDITIONS ARE DISCOVERED, OR IF THERE ARE ANY CONFLICTS BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS.
- NO CONTRACTOR SHALL BEGIN WORK UNTIL THE UTILITY COMPANIES HAVE LOCATED AND MARKED ALL UNDERGROUND UTILITIES AND DISCONNECTED ANY UTILITIES THAT MAY POTENTIALLY BE A HAZARD TO THE WORKERS OR OTHERS.
- ANY UNDERGROUND AND/OR ABOVE GROUND UTILITIES REQUIRING WORK PER THESE DOCUMENTS, ARE TO BE DISCONNECTED PRIOR TO THE START OF DEMOLITION/CONSTRUCTION AS REQUIRED TO PROVIDE FOR A SAFE WORKING ENVIRONMENT. ANY OF THESE UTILITIES REQUIRING REMOVAL SHALL THEN BE COMPLETELY REMOVED. THIS IS OF PARTICULAR IMPORTANCE REGARDING UNDERGROUND PIPING WHICH COULD CAUSE EROSION AND UNDERMINING OF BUILDING FOOTINGS IF NOT COMPLETELY REMOVED.
- ALL EXISTING UNDERGROUND UTILITIES AND OTHER INFORMATION SHOWN ON THE DRAWINGS ARE BASED UPON DRAWINGS PROVIDED BY THE OWNER, LAND SURVEY, THE DESIGNER'S FIELD NOTES, PHOTOGRAPHS OF EXISTING CONDITIONS, AND INTERPRETATIONS THEREOF.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE INFORMATION ON THE DRAWINGS ARE CORRECT AS THE WORK PROCEEDS, AND TO NOTIFY THE OWNER AND/OR A/E SHOULD IT BE NECESSARY TO MAKE A MODIFICATION TO THE PLANS. THE DRAWINGS SHOW ONLY A SCHEMATIC REPRESENTATION OF THE LOCATION OF THE UTILITIES. IT IS NOT THE INTENT OF THE A/E TO SHOW THE EXACT POSITION OF THE UTILITIES, AND THE CONTRACTOR CAN EXPECT TO MAKE SOME MINOR ADJUSTMENTS IN THE FIELD.

CONCRETE NOTES

- MATERIALS:
  - SPECIFICATIONS, IN GENERAL, COMPLY WITH ACI-301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
  - STRUCTURAL CONCRETE:

CLASS	LOCATION	F'C
I	FOOTINGS, GRADE BEAMS	3000
II	INTERIOR SLABS ON GRADE, AND ALL INTERIOR CONCRETE NOT OTHERWISE IDENTIFIED	3500
III	EXTERIOR SLABS ON GRADE, SITE CONCRETE, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED	4000 (W/AIR)
IV	BACKFILL BELOW FOOTINGS	1500
  - ALL DEFORMED REINFORCING BARS: FY = 60,000 PSI.
- FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, SP-15 IN THE FIELD OFFICE AT ALL TIMES.
- CONTINGENCIES:
  - PROVIDE ADDITIONAL REINFORCING BARS TO BE USED AS DIRECTED BY THE ARCHITECT/ENGINEER, COLD BEND IN THE FIELD, IF REQUIRED.
  - PROVIDE LEAN CONCRETE (CLASS IV) UNDER FOUNDATIONS FOR OVER EXCAVATION, SOFT SPOTS, AND TRENCHES.
- FOOTINGS:
  - PROVIDE CORNER BARS AT FOOTING CORNERS TO MATCH HORIZONTAL REINFORCING. MINIMUM LENGTH OF EACH LEG = 36 BAR DIAMETERS.
- SPLICES:
  - MINIMUM LAP FOR FOOTING REINFORCING = 36 DIAMETERS.
- CONSTRUCTION JOINTS:
  - CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE A/E.
- WEDGE ANCHORS AND CHEMICAL ANCHORS:
  - MINIMUM EMBEDMENT SHALL BE 6 BOLT DIAMETERS, EXCEPT AS OTHERWISE DESIGNATED.

WOOD FRAMING NOTES

- THE FRAMING NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD A CONFLICT EXIST AMONG THE DRAWINGS, SPECIFICATIONS, AND THE GENERAL FRAMING NOTES, THE MOST RESTRICTIVE PROVISION SHALL GOVERN. CONTACT THE OWNER AND/OR A/E FOR A WRITTEN CLARIFICATION.
- SEE ALL PLANS, FRAMING DETAILS, WALL SECTIONS, FOUNDATION DETAILS, AND ARCHITECTURAL DETAILS FOR A DETAILED EXPLANATION OF THE STRUCTURE.
- MAKE ALL CUTS TRUE AND SQUARE FOR FULL BEARING AT STRUCTURAL JOINTS. CONNECT ALL FRAMING SECURELY TOGETHER WITH NAILS, SPIKES, SCREWS, OR APPROVED FRAMING CONNECTORS AS NOTED. ALSO, INSTALL ANY ADDITIONAL CONNECTORS IF REQUIRED BY THE LOCAL OFFICIAL.
- SILL PLATES IN CONTACT WITH FOUNDATION SHALL BE PRESSURE TREATED MATERIAL, SUITABLE FOR THIS APPLICATION. ALL SILL PLATES MUST BE TRUE AND LEVEL UPON INSTALLATION. GROUT SOLID BELOW SILL PLATES INSTALLED ON AN OUT OF LEVEL FOUNDATION OR IRREGULAR SURFACE.
- WALLS: ALL OPENINGS SHALL BE FRAMED WITH DOUBLE 2 X STUDS WITH JAMBS SET VERTICAL AND PLUMB. TOP PLATES OF ALL EXTERIOR WALLS AND BEARING PARTITIONS SHALL BE DOUBLED. END STUDS, WHERE A WALL TERMINATES INTO A MASONRY WALL, MUST BE ANCHORED TO THE MASONRY BY MEANS OF CASE-HARDENED NAILS, POWER DRIVEN FASTENERS, OR APPROVED EQUAL.
- BEAMS AND HEADERS SHALL BE CONSTRUCTED ACCORDING TO THE DRAWINGS. ALL PLYWOOD SPECIFIED SHALL BE CONTINUOUS AND UNBROKEN FOR THE ENTIRE LENGTH OF THE BEAM OR HEADER, AND SHALL BE GLUED AND NAILED TO THE OTHER MEMBERS.
  - BEAM AND HEADER BEARING AREA AND COLUMNS: BEAMS AND HEADERS SHALL HAVE SOLID WALL STUDS UNDER EACH BEARING POINT. THIS SOLID BEARING MATERIAL SHALL BE CONTINUOUS FROM THE HEADER DOWN TO THE FOUNDATION. SOLID BEARING SHALL BE FOR THE FULL WIDTH OF THE BEAM AND SHALL BEAR ON THE FULL WIDTH OF THE SIDEWALL OR COLUMN BELOW BEARINGS AT FOUNDATION/COLUMN COLUMNS AND/OR WALLS WILL REQUIRE FULL GROUTING. BEAMS SHALL HAVE A MIN. BEARING OF 1/2" ON WOOD AND METAL, AND 3" ON CONCRETE.
  - WOOD BEAMS AND HEADERS: EACH PIECE OF LUMBER SHALL HAVE A STAMP SHOWING MILL INFORMATION.
  - THE FRAMING CONTRACTOR SHALL REVIEW THE ALL DRAWINGS TO DETERMINE IF THERE WILL BE ANY CONFLICTS BETWEEN THE WORK OF EACH TRADE. ALL AREAS OF CONFLICT SHALL BE WORKED OUT BEFORE THE INSTALLATION BEGINS. ANY WORK INSTALLED WITHOUT COORDINATION THAT RESULTS IN A CONFLICT, SHALL BE REMOVED IF THE SITUATION IS UNWORKABLE FOR THE OTHER TRADES.
- ALL WOOD FRAMING SHALL CONFORM TO THE LATEST VERSION OF OBC.
- WHERE WOOD FLOOR ARE USED FOR FLOOR STRUCTURE(S) 2XBY BLOCKING EQUAL TO THE JOIST DEPTH IS TO BE INSTALLED @ 24" O.C. BETWEEN THE BAND BOARD AND THE FIRST JOIST PARALLEL TO THE BAND BOARD/FOUNDATION WALL. BLOCKING SHALL BE ADEQUATELY FASTENED TO THE FLOOR SHEATHING.

STRUCTURAL LUMBER NOTES

- ALL WOOD STRUCTURAL MEMBERS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION.
- MATERIALS: PROVIDE LUMBER WITH EACH PIECE FACTORY-MARKED WITH GRADE STAMP OF INSPECTION AGENCY EVIDENCING COMPLIANCE WITH GRADING RULE REQUIREMENTS AND IDENTIFYING GRADING AGENCY, GRADE, SPECIES, MOISTURE CONTENT AND MILL. ALL WOOD STRUCTURAL PANELS SHALL COMPLY WITH THE REQUIREMENTS OF DOC P81 OR DOC P82. ALL WOOD STRUCTURAL PANELS SHALL BE FACTORY-MARKED WITH AN APA GRADING STAMP.
  - STRUCTURAL LUMBER: SPRUCE-PINE-FIR NO. 1, NO. 2 OR BETTER, ACCORDING TO THE NATIONAL LUMBER GRADES ASSOCIATION (NLGA), SEASONED AT 19% MC.
  - CONNECTIONS: UNLESS NOTED OTHERWISE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPERLY DESIGNED CONNECTORS FOR THE END SUPPORT OF ALL MEMBERS. AS A MINIMUM, CONNECTIONS FOR STRUCTURAL MEMBERS SHALL CONFORM TO THE FASTENING SCHEDULE LISTED IN THE OHIO BUILDING CODE.
    - JOISTS TO BEAMS: 16 GA. GALVANIZED STD. JOIST HANGERS BY THE SIMPSON STRONG-TIE CO. (PROVIDE SLOPED AND/OR SKEWED HANGERS WHERE REQUIRED).
    - USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O.C. MAX. FOR ALL JOISTS AND RAFTERS. USE SOLID BLOCKING AT JOIST BEARING LOCATIONS. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW BEARING STUDS.
  - LUMBER FOR BLOCKING AT BEARING PLATES SHALL BE PRESSURE TREATED WITH 0.4 ACQ RETENTION.
  - PLYWOOD FOR ROOFING SHALL BE 5/8" EXPOSURE I. PROVIDE PLYWOOD CLIPS @ 8" C/C AT UNSUPPORTED EDGES.
- WHERE THE TERM "G & N" IS NOTED IT MEANS GLUE AND NAIL. NAILING SHALL APPLY ENOUGH CLAMPING FORCE TO HOLD THE MATING SURFACES IN CONTACT UNTIL THE GLUE ATTAINS FULL STRENGTH. SHORE JOINTS NOT IN COMPRESSION UNTIL GLUE ATTAINS FULL STRENGTH. GLUING SHALL CONFORM TO THE INFORMATION STATED BELOW.
  - PLACE CONTINUOUS BEAD(S) OF GLUE ON ONE OF THE SURFACES TO BE GLUED.
  - SPREAD GLUE OVER 100% OF THE SURFACE REQUIRING GLUE.
  - NAIL PIECES TOGETHER SO THAT SURFACES ARE HELD TIGHTLY TOGETHER UNTIL GLUE SETS.
  - WIPE AWAY ANY EXCESS GLUE WHICH IS EXPELLED IF ITS APPEARANCE WILL BE UNACCEPTABLE IN THE FINISHED STRUCTURE. "TITEBOND CONSTRUCTION ADHESIVE" SHALL BE USED FOR GLUING AS MANUFACTURED BY FRANKLIN INTERNATIONAL. PROVIDE HURRICANE CLIPS AT ALL RAFTER/TRUSS CONNECTIONS TO BEARING PLATES.
- DIMENSIONAL LUMBER USED FOR ALL FRAMING, EXCEPT STUDS, SOLE PLATES AND CAP PLATES SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

Fb=1000 PSI (SINGLE MEMBER)
Fb=1150 PSI (REPETITIVE USE)
Ft=525 PSI (PARALLEL)
Fv=75 PSI Fc=825 PSI (PARALLEL)
Fc=405 PSI (PERPENDICULAR)
E=1,400,000 PSI
- STRUCTURAL LUMBER USED FOR RAFTERS & DECK SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb=1000 PSI

INSULATION

- NEW INSULATION MATERIALS SHALL NOT HAVE A FLAME SPREAD INDEX GREATER THAN SPECIFIED AS FOLLOWS:

RIGID BOARD INSULATION:  
FLAME SPREAD NOT GREATER THAN 75  
SMOKE DEVELOPED INDEX NOT GREATER THAN 450

BATT INSULATION:  
FLAME SPREAD NOT GREATER THAN 25  
SMOKE DEVELOPED INDEX NOT GREATER THAN 50

SAFING INSULATION:  
FLAME SPREAD AND SMOKE DEVELOPED INDEX SHALL MEET REQUIREMENTS OF ASTM E 136
- PER IECC, EXISTING BUILDINGS, IF EXISTING INSULATION IS EXPOSED AND REMOVED, ARE REQUIRED TO HAVE NEW INSULATION INSTALLED TO MEET OR EXCEED EXISTING REMOVED.

INTERIOR FINISH NOTES

- INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84. MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDICES:

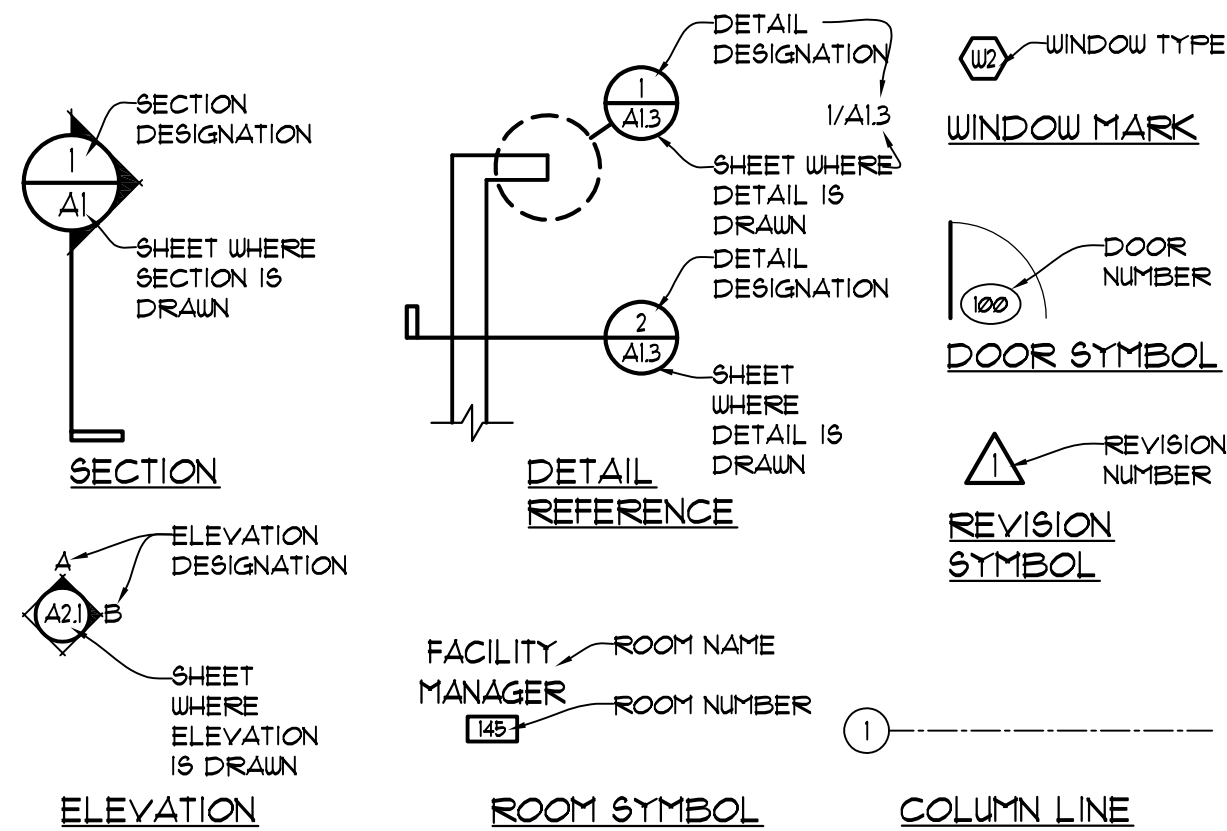
CLASS A: FLAME SPREAD 0-25, SMOKE DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450
- NEW INTERIOR WALL AND CEILING FINISHES SHALL NOT HAVE A FLAME SPREAD INDEX GREATER THAN SPECIFIED AS FOLLOWS:

USE GROUP A-3, NON-SPRINKLERED:  
VERTICAL EXITS AND EXIT PASSAGEWAYS: CLASS A  
EXIT ACCESS CORRIDORS: CLASS A  
ROOMS AND ENCLOSED SPACES: CLASS B

ABBREVIATIONS

ANCHOR BOLT	A.B.	JOINT	JT.
ABOVE FINISH FLOOR	AFF.	LAVATORY	L.A.V.
BEARING	BRG.	LENGTH	L.
BOTTOM	BOT.	MANUFACTURER	MFR.
BUILDING	BLDG.	MASONRY OPENING	M.A.S.
CEILING	CLG.	MAXIMUM	M.O.
CENTERLINE	C.L.	MECHANICAL CONTRACTOR	M.C.
CENTER TO CENTER	C.C.	MINIMUM	M.I.N.
CHANNEL	CHAN.	MISCELLANEOUS	MISC.
CLOSE	CLOS.	NOT TO SCALE	N.T.S.
CONCRETE	CONC.	NUMBER	NO.
CONSTRUCTION	CONST.	OUTSIDE DIAMETER	O.D.
CONTINUOUS	CONT.	OUT TO OUT	O/O
CONTRACTOR	CONTR.	PAIR	FR.
CUBIC FEET	CU.	PLATE	PL.
DEPTH	CF.	PLUMBING CONTRACTOR	P.C.
DETAIL	D.	RADIUS	R.
DIAMETER	DIA.	REQUIRED	REQ'D.
DIMENSION	DIM.	REVISION	REV.
DRAIN	DR.	ROOM	RM.
ELECTRIC	ELEC.	ROUGH OPENING	R.O.
ELECTRICAL CONTRACTOR	E.C.	SECTION	SECT.
ELEVATION	ELEV.	SIMILAR	SIM.
EQUAL	EQ.	SPECIFICATION	SPEC.
EXISTING	EXIST.	SQUARE	SQ.
EXPANSION	EXP.	SQUARE FEET	S.F.
EXTERIOR	EXT.	STAINLESS STEEL	S.S.
FEET	FT.	STANDARD	STD.
FINISH	FIN.	THICKNESS	T.
FLOOR	FLR.	TOP OF CONCRETE	T.O.C.
FLOOR DRAIN	F.D.	TOP OF FOOTING	T.O.F.
FLUORESCENT	FLUOR.	TOP OF STEEL	T.O.S.
GAS	G.	TOP OF WALL	T.O.W.
GAUGE	GA.	TYPICAL	TYP.
GENERAL TRADES CONTRACTOR	G.T.C.	VERTICAL	VERT.
GLASS	GL.	WIDTH	W.
GYP-SUM BOARD	GYP. BD.	WIRE GLASS	WGL.
HEIGHT	HGT.	WITH	W/
HOLLOW METAL	H.M.	WITHOUT	W/O.
HORIZONTAL	HORIZ.	WOOD	WD.
HOT WATER	H.W.		
INSIDE DIAMETER	I.D.		
INSULATION	INSUL.		
INTERIOR	INT.		
INVERT	INV.		

DRAWING SYMBOLS



GENERAL NOTES, ABBREVIATIONS & DRAWING SYMBOLS

DEER HAVEN PARK  
VISITORS CENTER  
OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

**schorr architects inc.** 230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

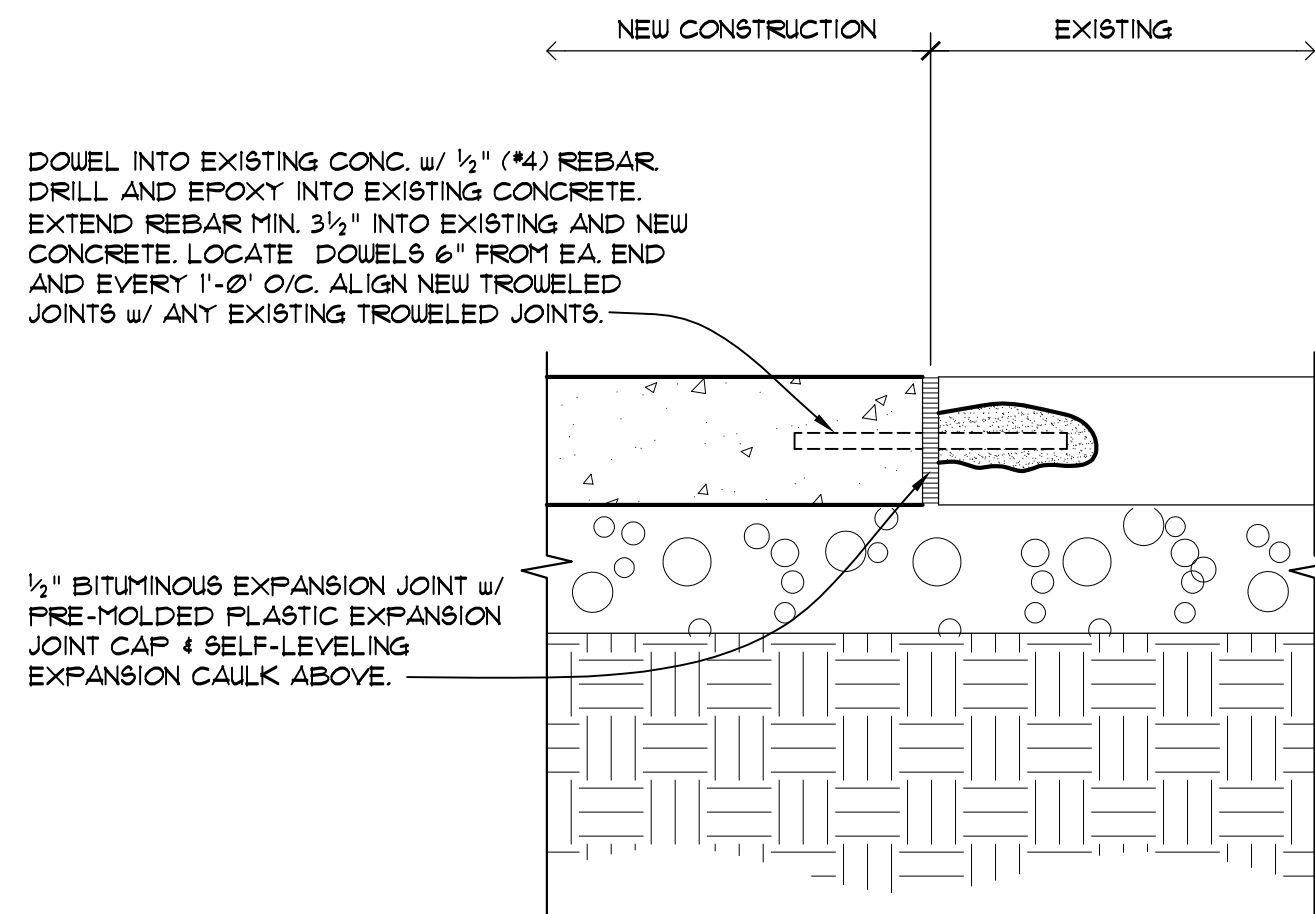
50% REVIEW SET 08-05-2019

COMM. NO.: 1917

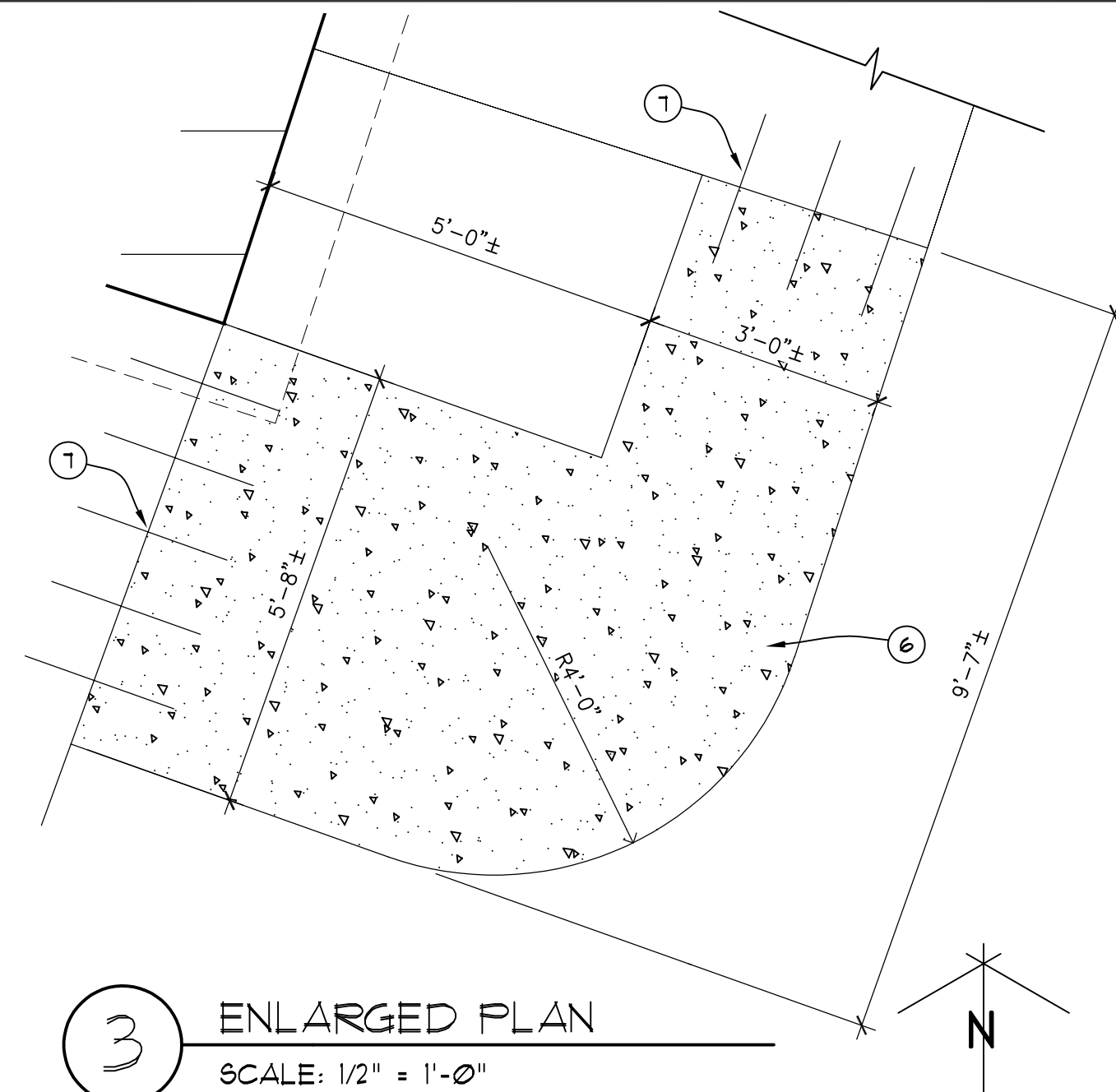
G2

STATE OF OHIO  
REGISTERED ARCHITECT  
TONY R. SCHORR  
8879  
TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019  
SIGNED *Tony Schorr* 09-10-2019  
DATE

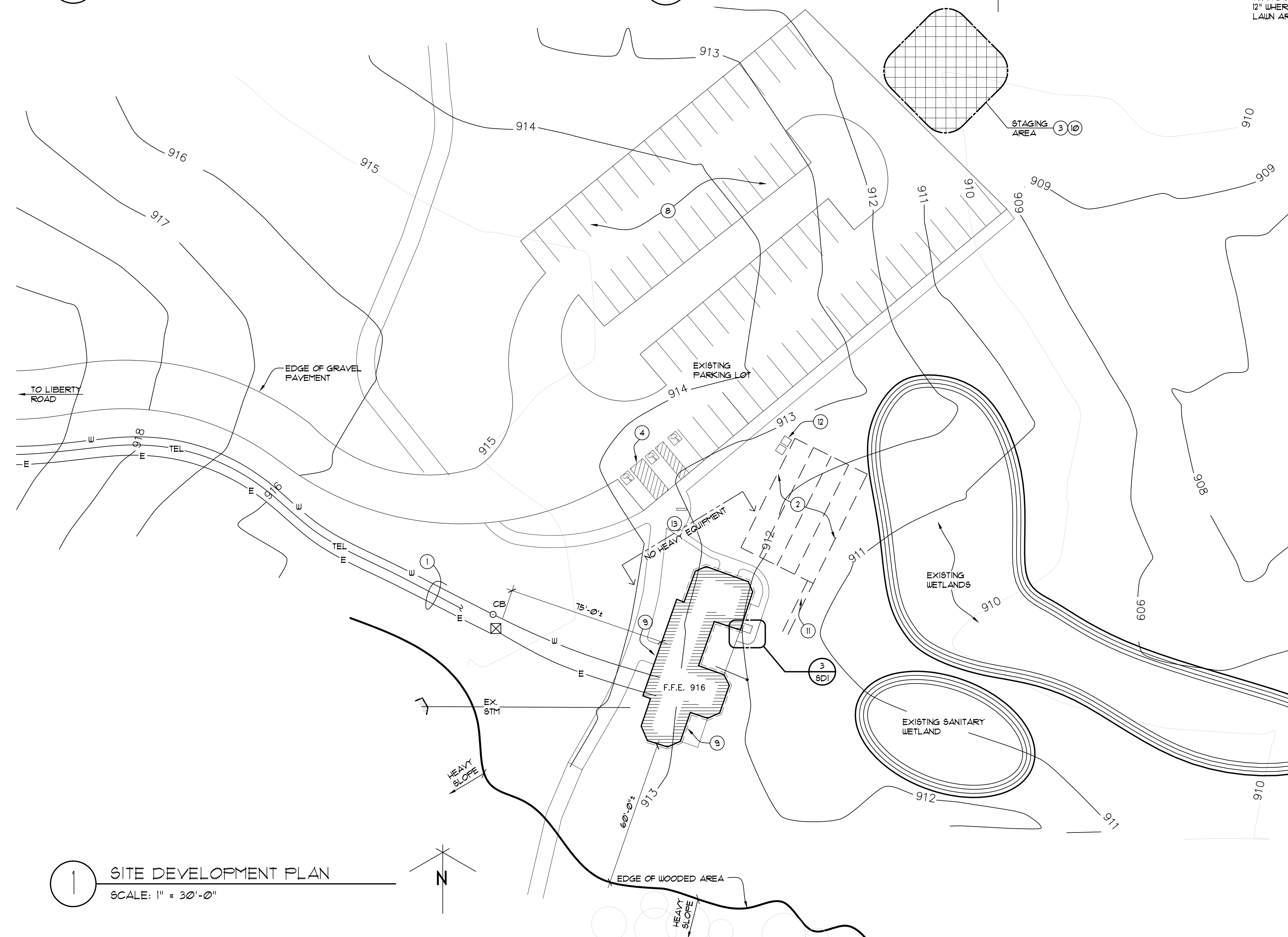




2 DOWEL DETAIL  
1" = 1'-0"



3 ENLARGED PLAN  
SCALE: 1/2" = 1'-0"



1 SITE DEVELOPMENT PLAN  
SCALE: 1" = 30'-0"

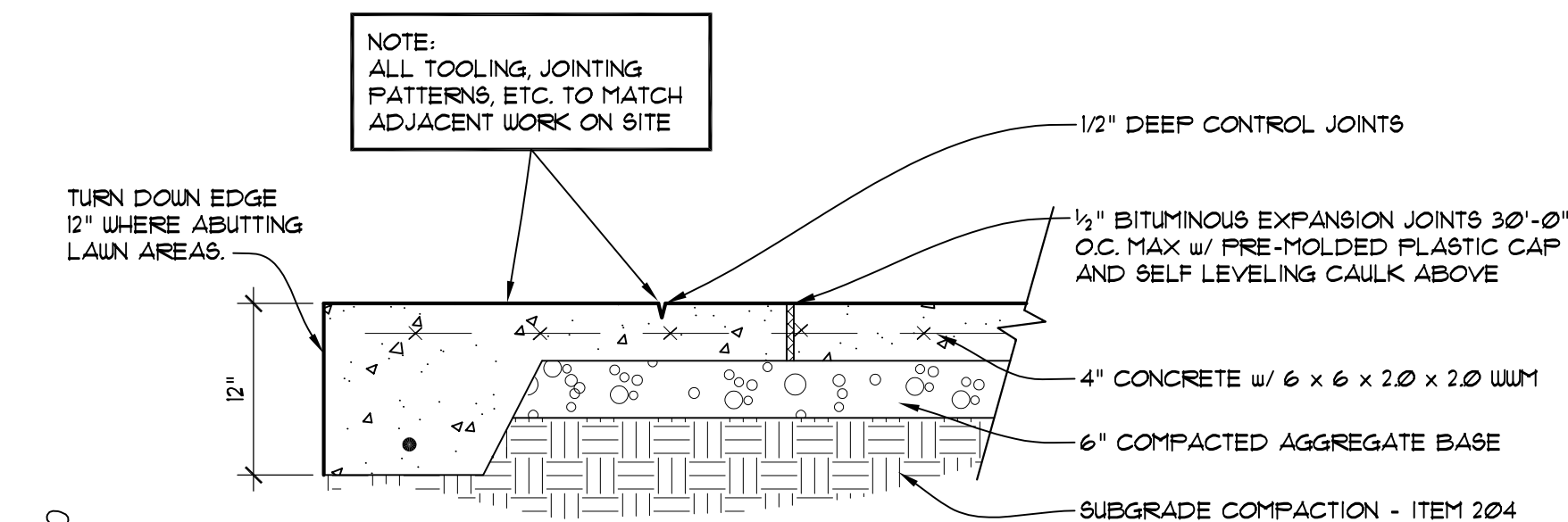
## CODED NOTES

INDICATED BY: (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13)

- APPLICABLE TO SHEET SD1
- EXISTING UNDERGROUND ELECTRIC AND TELEPHONE AND WATER TO BUILDING.
  - EXISTING UNDERGROUND GEOTHERMAL FIELD. NO CONSTRUCTION PERMITTED.
  - CONTRACTOR CONSTRUCTION STAGING AREA - VERIFY WITH A/E AND OWNER.
  - EXISTING ACCESSIBLE PARKING STALLS AND SIGN POSTS.
  - NOT USED.
  - 4" THICK CONCRETE SIDEWALK, 4000 PSI MATCH EXISTING EDGE DETAIL AND PATTERN. BROOM FINISH, RE: 4/SD1.
  - DOVEL NEW CONCRETE INTO EXISTING/NEW CONCRETE AT THIS LOCATION. RE: 2/SD1.
  - ASPHALT PARKING LOT. PROVIDE EQUIPMENT, ETC. THAT WILL NOT DAMAGE PAVEMENT.
  - MAINTAIN ALL REQUIRED EGRESS DOORS AND BUILDING ACCESS POINTS DURING CONSTRUCTION.
  - ALL DUMPSTER, STORAGE UNITS, ETC. MUST BE SET ON MINIMUM 3/4" PLYWOOD DUNNAGE OR 2x4 SLEEPERS ON EXISTING PAVEMENT.
  - GEOTHERMAL WELL. HORIZONTAL LOOPS APPROXIMATELY 4' BELOW GRADE. DO NOT DAMAGE.
  - TEMPORARY TOILET FACILITIES PROVIDED BY FFDC.
  - NO HEAVY EQUIPMENT ON EXISTING CONCRETE AND GEOTHERMAL WELL AREA.

## GENERAL NOTES - SITE DEVELOPMENT PLAN

- THE LOCATION, SIZE AND DEPTH OF ALL ELEMENTS SHOWN ON THIS PLAN WERE MADE AVAILABLE FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. UTILITIES AS SHOWN WERE TAKEN FROM BEST AVAILABLE RECORDS AND FIELD INVESTIGATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE EXISTING INFORMATION AS SHOWN, AND FOR THE LOCATION, INVESTIGATION, SUPPORT AND RESTORATION OF ALL UTILITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL OF THE EXISTING ELEMENTS OF THE SITE. ANY DAMAGE TO ITEMS NOT LABELED AS "TO BE REMOVED" WILL BE REPLACED IN KIND AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS FOR BACK FILL OF UTILITIES REMOVED AND FOR GENERAL SITE PREPARATION AND EARTHWORK AS REQUIRED BY THE SOILS ENGINEER.
- FOR ALL GRADING INFORMATION REFER TO THE SITE GRADING PLAN.
- IF ANY DISCREPANCIES ARISE IN THE FIELD WHICH WOULD AFFECT THE PROPOSED CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ALL EXCESS ORGANIC MATERIALS, COORDINATE.
- THE CONTRACTOR SHALL NOT REMOVE ANY HAZARDOUS WASTE MATERIALS FOUND DURING DEMOLITION OR EXCAVATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY SUCH MATERIALS ARE FOUND DURING ANY PHASE OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE INSTALLATION OF NEW SERVICES AS SHOWN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL DEMOLISH EXISTING SERVICE AS SHOWN ON THIS PLAN ONLY AFTER THE NEW SYSTEMS ARE IN PLACE, TESTED, APPROVED AND OPERATIONAL. IF CONFLICTS PREVENT INSTALLATION OF NEW SERVICE PRIOR TO DEMOLITION OF EXISTING THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY SERVICE UNTIL NEW SERVICE CAN BE INSTALLED.



4 CONCRETE SIDEWALK  
1" = 1'-0"

## LEGEND

	FOUNDATION WALLS
	EXISTING CONTOUR
	GRAVEL PAVEMENT
	GRAVEL PATH
	CURB BOX
	TRANSFORMER
	WATER LINE
	TELEPHONE LINE
	SANITARY SEWER
	STORM
	ELECTRIC LINE



## UTILITY CONTACTS

AEP ELECTRIC	800/ 271-2171
DELAWARE COUNTY HEALTH DEPT.	740/ 368-1100
DELCO WATER	740/ 548-1146
AT & T	614/ 863-4339

**NOTE:** THE GENERAL CONTRACTOR IS TO COORDINATE UTILITY SERVICES FOR THE NEW FACILITY. ALL PERMITS, FEES AND COSTS ASSOCIATED WITH NEW UTILITY SERVICES INSTALLATION WILL BE PAID BY THE OWNER.

## SITE DEVELOPMENT AND UTILITY PLAN

DEER HAVEN PARK  
VISITORS CENTER  
OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

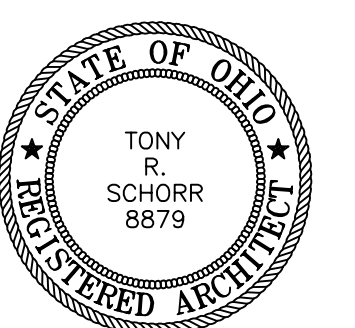
**schorr architects inc.** 230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

SD1

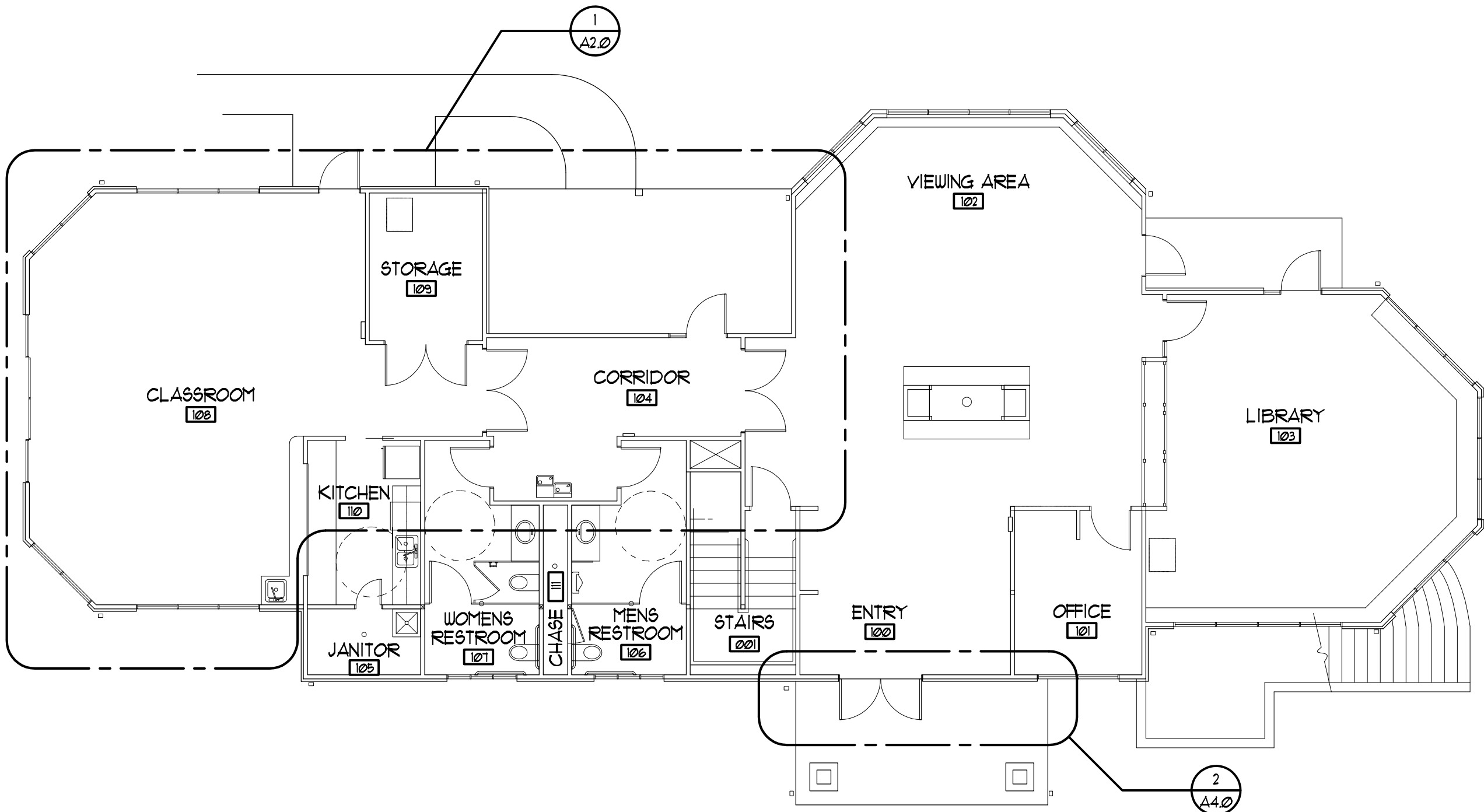


TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019  
SIGNED *Tony Schorr* 09-10-2019  
DATE

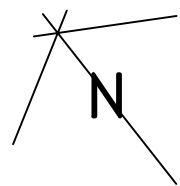


GENERAL NOTES

- A. THE DRAWINGS SHOWN ARE AN APPROXIMATE REPRESENTATION OF EXISTING CONDITIONS. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS MAY CAUSE MINOR RELOCATIONS.
- B. CONTRACTORS SHALL INVESTIGATE AND LOCATE ALL UTILITIES PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGED UTILITIES AFFECTED BY THE WORK IN PROGRESS IN ACCORDANCE WITH LOCAL UTILITY COMPANIES.
- C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE PROCEDURES AND SEQUENCES AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUY WIRE AND/OR TIE DOWNS THAT MAY BE NECESSARY. THE CONTRACTOR SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT. (OSHA, LATEST AMENDMENTS).
- D. DURING THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE OWNER OF ANY UNSTABLE CONDITIONS PRIOR TO PROCEEDING WITH THE WORK IN PROGRESS.
- E. THE EXCAVATION AND REMOVAL OF ANY EXISTING MATERIAL IS TO BE ACCOMPLISHED IN A SYSTEMATIC AND ORGANIZED MANNER. THE DEBRIS IS TO BE DISPOSED OF OFF SITE. COMPLY WITH THE REQUIREMENTS OF ALL STATE AND LOCAL CODES. PROVIDE ADEQUATE ENVIRONMENTAL CONTROLS. DISPOSE OF ALL MATERIALS IN A LAWFUL MANNER.
- F. ALL INTERIOR FINISHES SHALL COMPLY WITH ASTM E-84 FOR SMOKE DEVELOPMENT PER OBC REQUIREMENTS.
- G. THE PARK WILL REMAIN OPEN DURING THIS CONSTRUCTION AND ALL EFFORTS ARE TO BE MADE BY THE CONTRACTOR TO ENSURE MINIMAL DISRUPTIONS OUTSIDE OF THE DESIGNATED WORKING AREAS.
- H. ALL DIMENSIONS ON PLANS ARE TO FACE OF FINISH MATERIAL WHEN TO EXISTING STRUCTURE AND TO FACE OF STUDS AT NEW WORK UNLESS NOTED OTHERWISE.
- I. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
- J. ALL BASES, INCLUDING CONCRETE PADS FOR PLUMBING, HVAC AND ELECTRICAL EQUIPMENT SHALL BE BY THE GENERAL TRADES CONTRACTOR UNLESS NOTED OTHERWISE. REFERENCE PLUMBING, HVAC AND ELECTRICAL DRAWINGS. COORDINATE WITH RESPECTIVE CONTRACTORS.
- K. GENERAL TRADES CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY EXTENDING FIRE RATED PARTITIONS AROUND ITEMS WHICH PENETRATE THESE PARTITIONS AS REQUIRED.
- L. DISSIMILAR FLOOR MATERIALS SHALL MEET UNDER CENTER OF DOOR LEAF UNLESS NOTED OTHERWISE.
- M. GENERAL TRADES CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS IN CONCRETE SLABS AND MASONRY WALLS WITH RESPECTIVE TRADES REQUIRING OPENINGS.
- N. GENERAL TRADES CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED TO ANCHOR ALL WALL AND CEILING-MOUNTED ITEMS, INCLUDING ACCESSORIES, MILLWORK, HANDRAILS, DOORSTOPS, ETC. ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
- O. GENERAL TRADES CONTRACTOR TO COORDINATE THE RESPONSIBILITY OF CONCRETE SLAB DEMOLITION WITH APPROPRIATE TRADE. REFERENCE THE PLUMBING, ELECTRICAL AND HVAC DRAWINGS AS WELL AS THE DEMOLITION DRAWINGS.
- P. DOOR FRAMES IN INTERIOR PARTITIONS SHALL BE LOCATED 4" FROM ADJACENT INTERSECTING WALLS UNLESS NOTED OTHERWISE.
- Q. CONTACT THE ARCHITECT FOR DETERMINING A REQUIRED DIMENSION THAT IS NOT INDICATED ON THE DRAWINGS. DO NOT SCALE THE DRAWINGS.
- R. IT IS THE RESPONSIBILITY OF THE GENERAL TRADES CONTRACTOR PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE AREA OF WORK AND ALL CONNECTIONS, WHETHER SHOWN ON THE PLANS OR NOT. THE GENERAL TRADES CONTRACTOR IS TO NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 AND ALL UTILITY COMPANIES BEFORE STARTING WORK. UTILITY PERSONNEL TO TOUCH ALL LINES ASSOCIATED WITH THIS SERVICE. CONTRACTOR TO CONTACT THE SPONSOR AGENCY TO ASSIST IN VERIFYING UTILITY LOCATIONS. GENERAL TRADES CONTRACTOR TO REPAIR OR REPLACE ALL DAMAGED KNOWN UTILITIES AFFECTED BY THE CONSTRUCTION PROCESS AT NO ADDITIONAL COST TO THE OWNER.
- S. DETAILS ARE GENERALLY TYPICAL AND ARE NOT TO BE CONSTRUED AS LIMITED TO THOSE AREAS SPECIFICALLY INDICATED. REVIEW ANY QUESTIONS WITH THE ARCHITECT.
- T. GENERAL TRADES CONTRACTOR TO PROVIDE JOINT SEALANT AT ALL EXTERIOR WALL PENETRATIONS UNLESS NOTED OTHERWISE.
- U. ALL HVAC AND ELECTRICAL ROOF PENETRATIONS SHALL BE FLASHED BY THE GENERAL TRADES CONTRACTOR. REFER TO THE PLUMBING, HVAC AND ELECTRICAL DRAWINGS.



1 FIRST FLOOR PLAN  
1/8" = 1'-0"



EXISTING COMPOSITE PLAN

DEER HAVEN PARK  
VISITORS CENTER  
OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

**schorr architects inc.**

230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

A1.0



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019

SIGNED *Tony Schorr* 09-10-2019  
DATE

- APPLICABLE TO CONSTRUCTION PLAN
1. RELOCATE FIRE EXTINGUISHER TO THIS LOCATION. FIELD VERIFY WITH A/E AND OWNER.
  2. RELOCATE (2) TACK BOARDS TO THIS LOCATION. FIELD VERIFY WITH A/E AND OWNER.
  3. PROVIDE SELF LEVELING CEMENTITIOUS FLOORING UNDERLAYMENT IN CORRIDOR 104, TYPICAL.
  4. FURNITURE PROVIDED BY OWNER.
  5. PATCH BOTTOM OF EXISTING DOOR HEADER WITH 5/8" GYPSUM BOARD.
  6. PAINT TO NEAREST INTERSECTING WALL.

WALL TYPE LEGEND

TYPE	WALL DESCRIPTION	FIRE RATING	STC RATING
A	EXISTING 3 1/2" EXTERIOR WOOD STUDS. REMOVE SIDING/STONE.	0	0
B	EXISTING EXTERIOR WOOD STUDS. PROVIDE 5/8" GYPSUM BOARD.	0	0
C	NEW 3 1/2" WOOD STUD FRAMING AT 16" O.C. RUN FULL HEIGHT TO DECK/FRAMING ABOVE. PROVIDE SOUND ATTENUATION BATT INSULATION.	0	52
D	EXISTING WALL TO REMAIN.	0	52
E	INTERIOR WOOD STUD INFILL FRAMING w/ 5/8" GYPSUM BOARD EACH SIDE. PROVIDE SOUND ATTENUATION BATT INSULATION.	0	52
F	NEW 5 1/2" WOOD STUD FRAMING AT 16" O.C. PROVIDE CLOSED CELL SPRAY FOAM INSULATION IN CAVITY SPACE w/ 5/8" GYPSUM BOARD INTERIOR.	0	52

DEMOLITION CODED NOTES INDICATED BY:

- APPLICABLE TO DEMOLITION PLAN
1. SAWCUT AND REMOVE EXISTING CONCRETE SLAB ON GRADE. EDGES ARE TURNED DOWN 24".
  2. DISCONNECT, REMOVE EXISTING DOOR, INCLUDING SIDELIGHTS AND TRANSOMS, AND HARDWARE. STORE FOR REUSE IN NEW CONSTRUCTION.
  3. REMOVE AND DISPOSE OF EXISTING FLOORING AND BASE TO THIS LOCATION TO CENTER OF EXISTING DOORS THAT ARE TO REMAIN.
  4. DISCONNECT, REMOVE EXISTING FIRE EXTINGUISHER AND CABINET. STORE FOR REUSE IN NEW CONSTRUCTION.
  5. DISCONNECT, REMOVE AND DISPOSE OF EXISTING 3 1/2" EXTERIOR WOOD STUD WALL. SALVAGE ALL WALL ACCESSORIES FOR REUSE IN NEW CONSTRUCTION.
  6. EXISTING MICRO LAM BEAM ROOF FRAMING TO REMAIN.
  7. REMOVE AND DISPOSE OF EXTERIOR WOOD SIDING AND STONE VENEER TO EXISTING SHEATHING.
  8. EXISTING WOOD COLUMN AND CONCRETE PIER TO REMAIN.
  9. REMOVE AND DISPOSE OF EXISTING CEILING TO ALLOW FOR NEW CONSTRUCTION FRAMING.
  10. REFERENCE SHEET S01 FOR SITE CONCRETE DEMOLITION AND RENOVATION WORK.
  11. EXISTING LANDSCAPING TO BE SALVAGED BY PPDC PRIOR TO CONSTRUCTION.
  12. DEMO SIDEWALK TO NEAREST JOINT.

PLANS AND SCHEDULES

DEER HAVEN PARK  
VISITORS CENTER  
OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

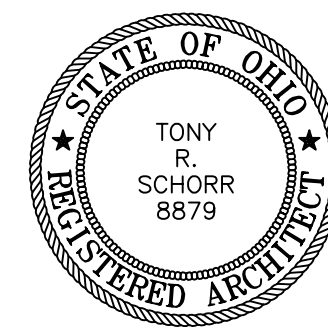
**schorr architects inc.** 230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

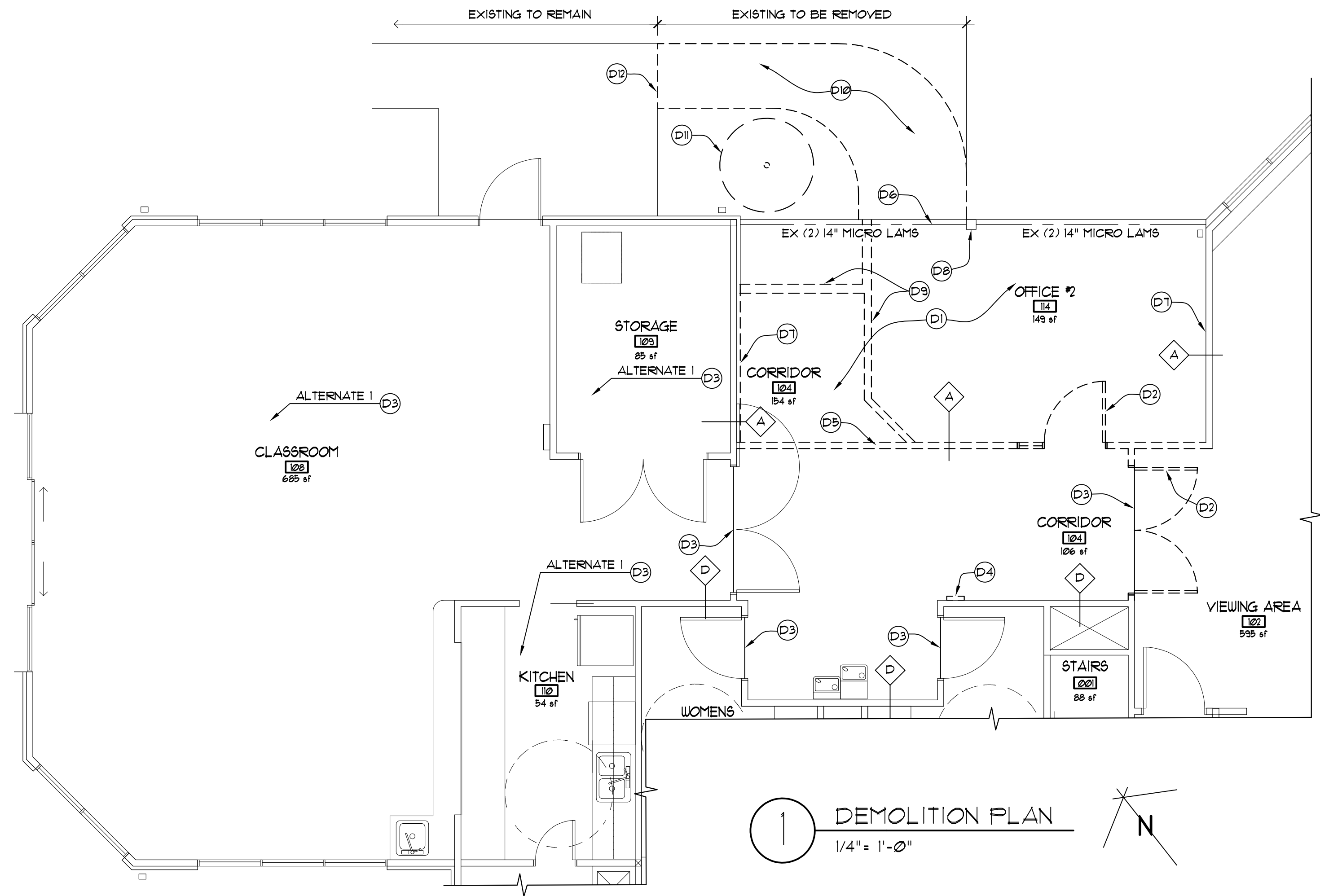
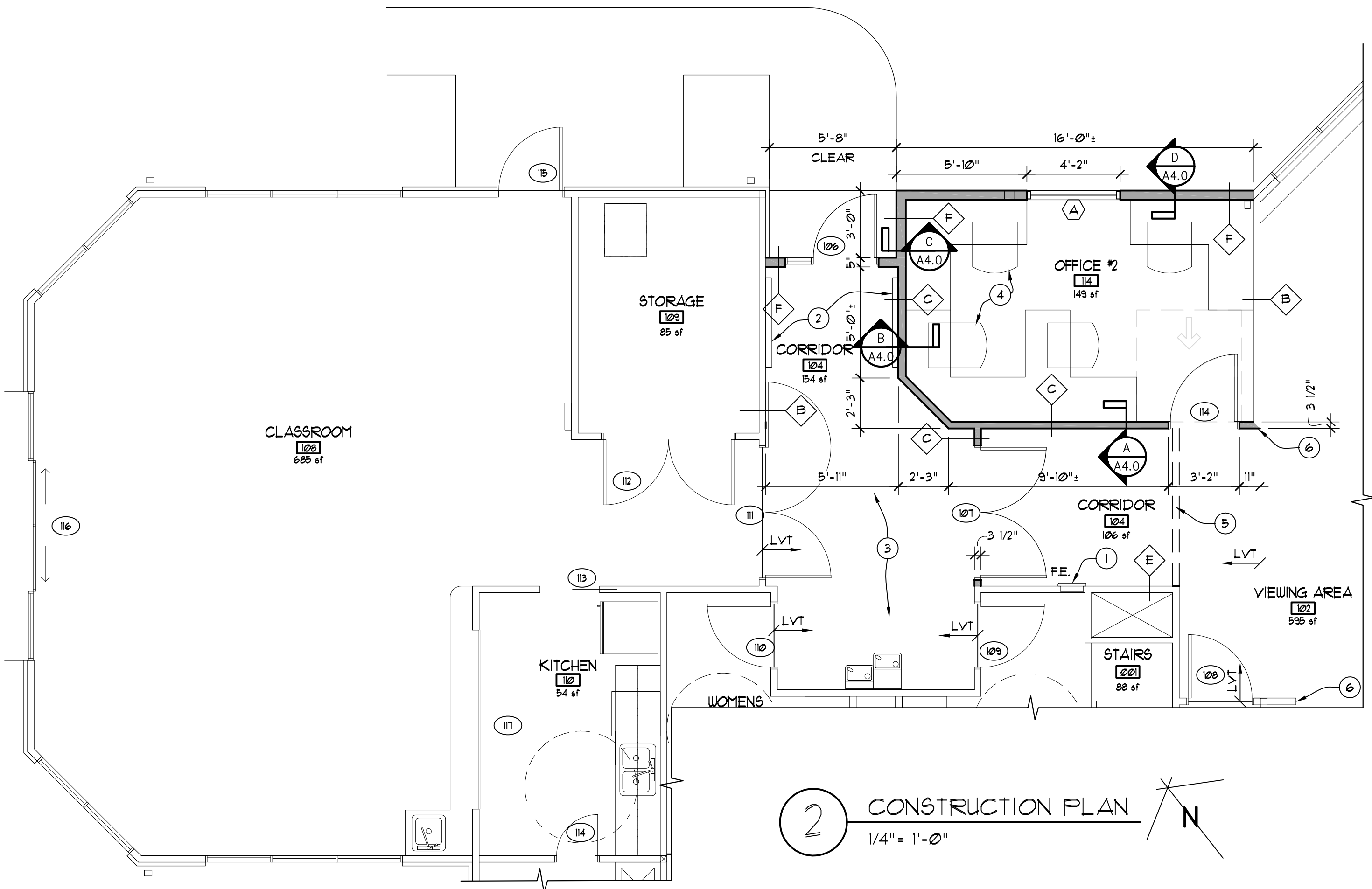
50% REVIEW SET 08-05-2019

COMM. NO.: 1917

A2.0



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019  
SIGNED *Tony Schorr* 09-10-2019  
DATE

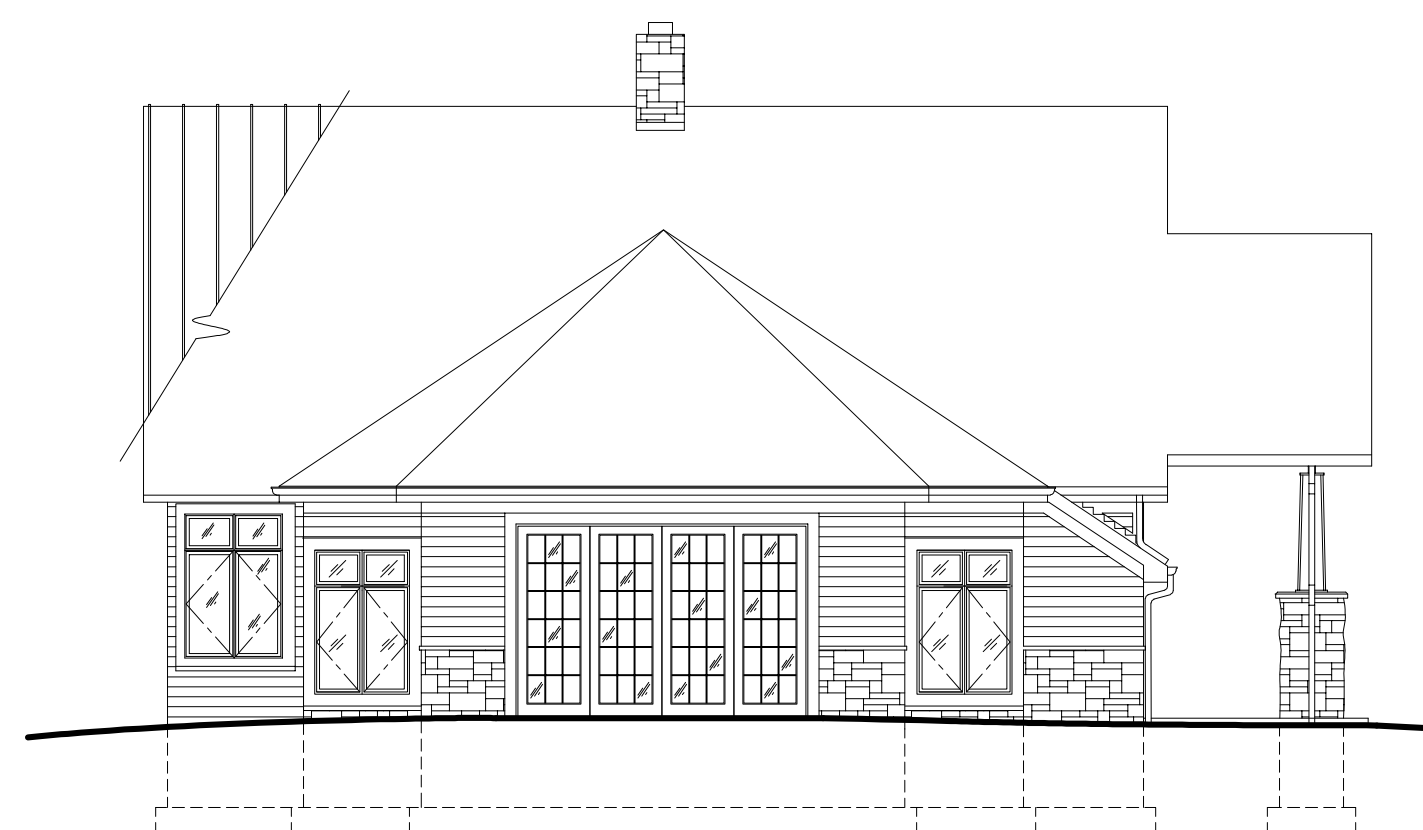


ROOM FINISH SCHEDULE (FIRST FLOOR)

ROOM NUM.	NAME	FLOORS	BASE	WALLS				CEILING	CLG. HT.	NOTES
				NORTH	SOUTH	EAST	WEST			
102	VIEWING AREA	PARTIAL LVT	--	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	8'-0"	
104	CORRIDOR	LVT	1x6 OAK STAIN	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	8'-0"	3
108	CLASSROOM	LVT	--	--	--	--	--	--	--	1, 3
103	STORAGE	LVT	--	--	--	--	--	--	--	1, 3
110	KITCHEN	LVT	--	--	--	--	--	--	--	1, 3
114	OFFICE 2	LVT	1x6 OAK STAIN	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	GYPSUM PAINT	EXISTING WOOD TO REMAIN	10'-0"	2, 3

- NOTES:
1. PROVIDE AS PART OF ALTERNATE 1.
  2. PATCH WOOD CEILING AT ABANDONED LIGHT FIXTURES, MATCH EXISTING.
  3. PROVIDE 1/4 ROUND SHOE MOLDING AT BOTTOM OF 1x6 BASE TRIM.

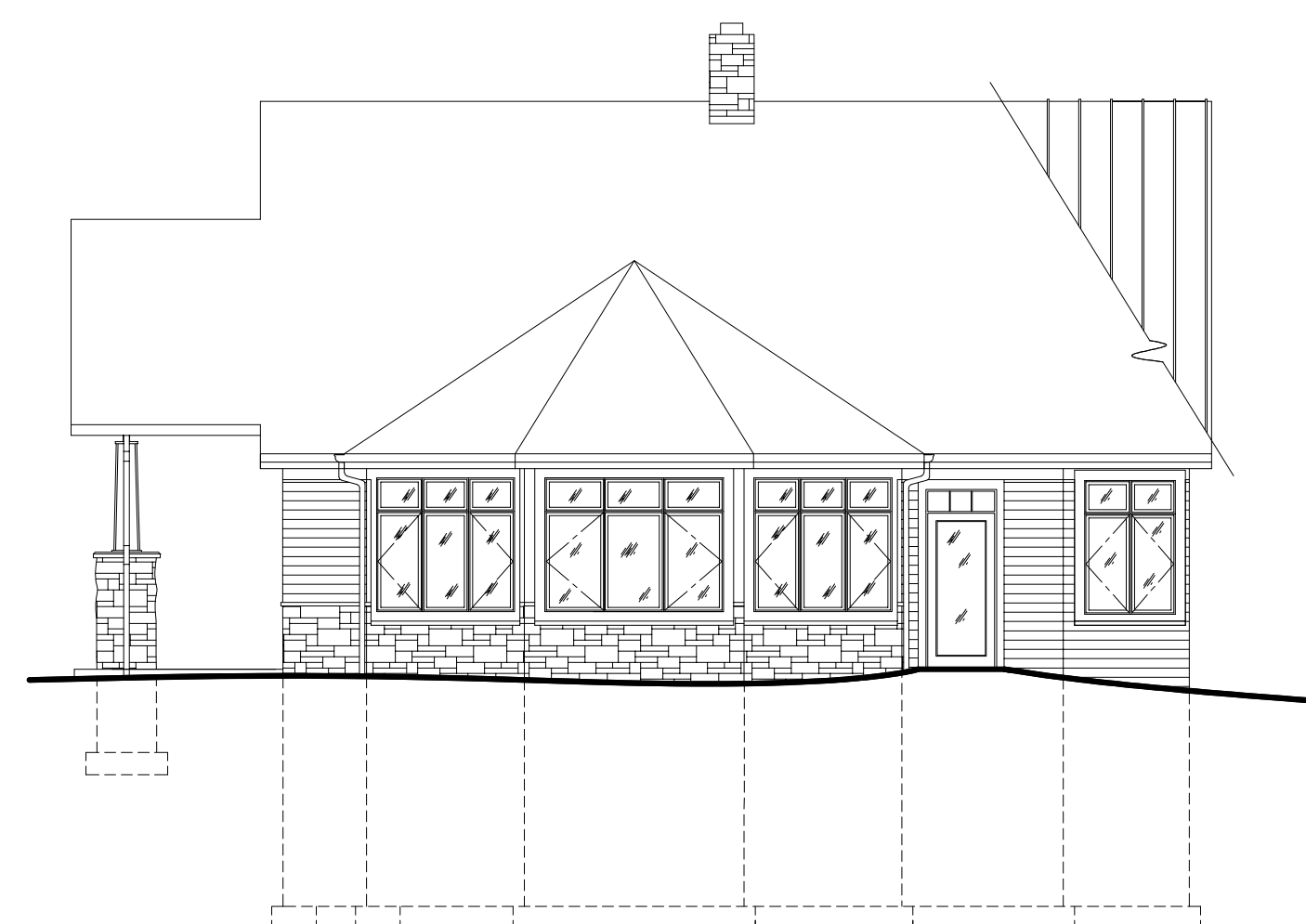




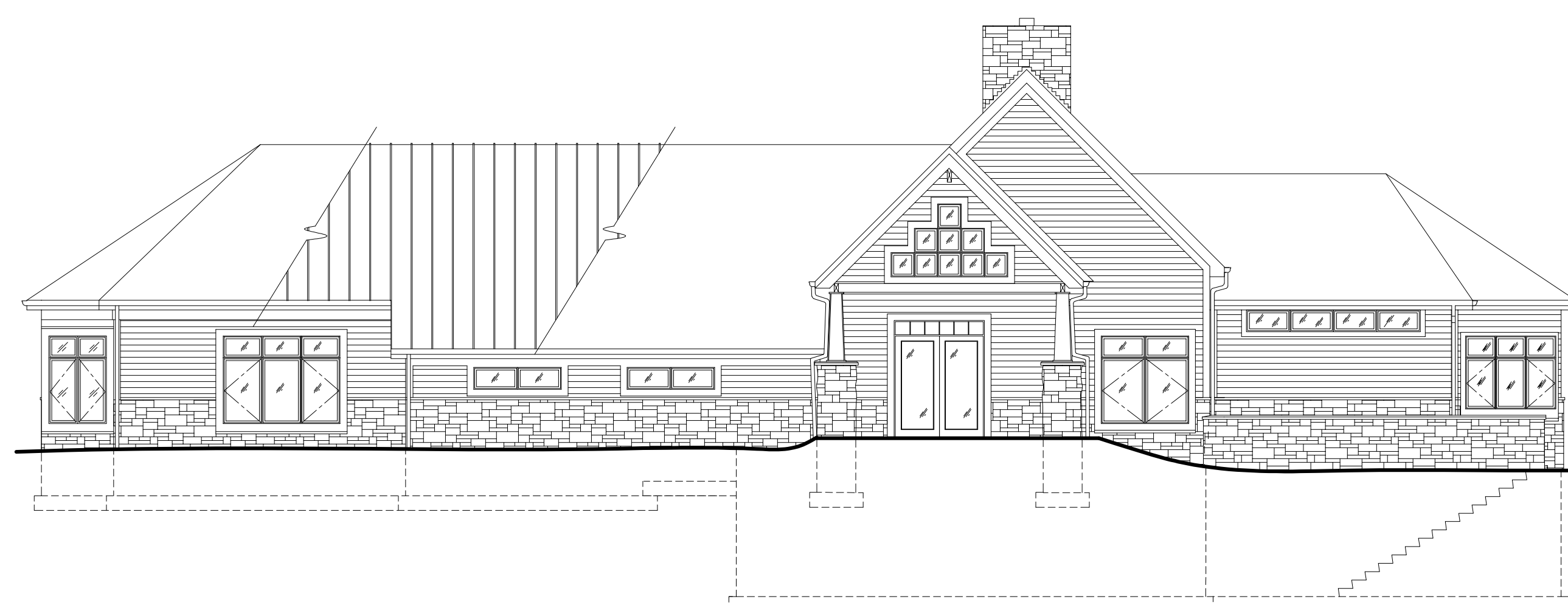
3 WEST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"

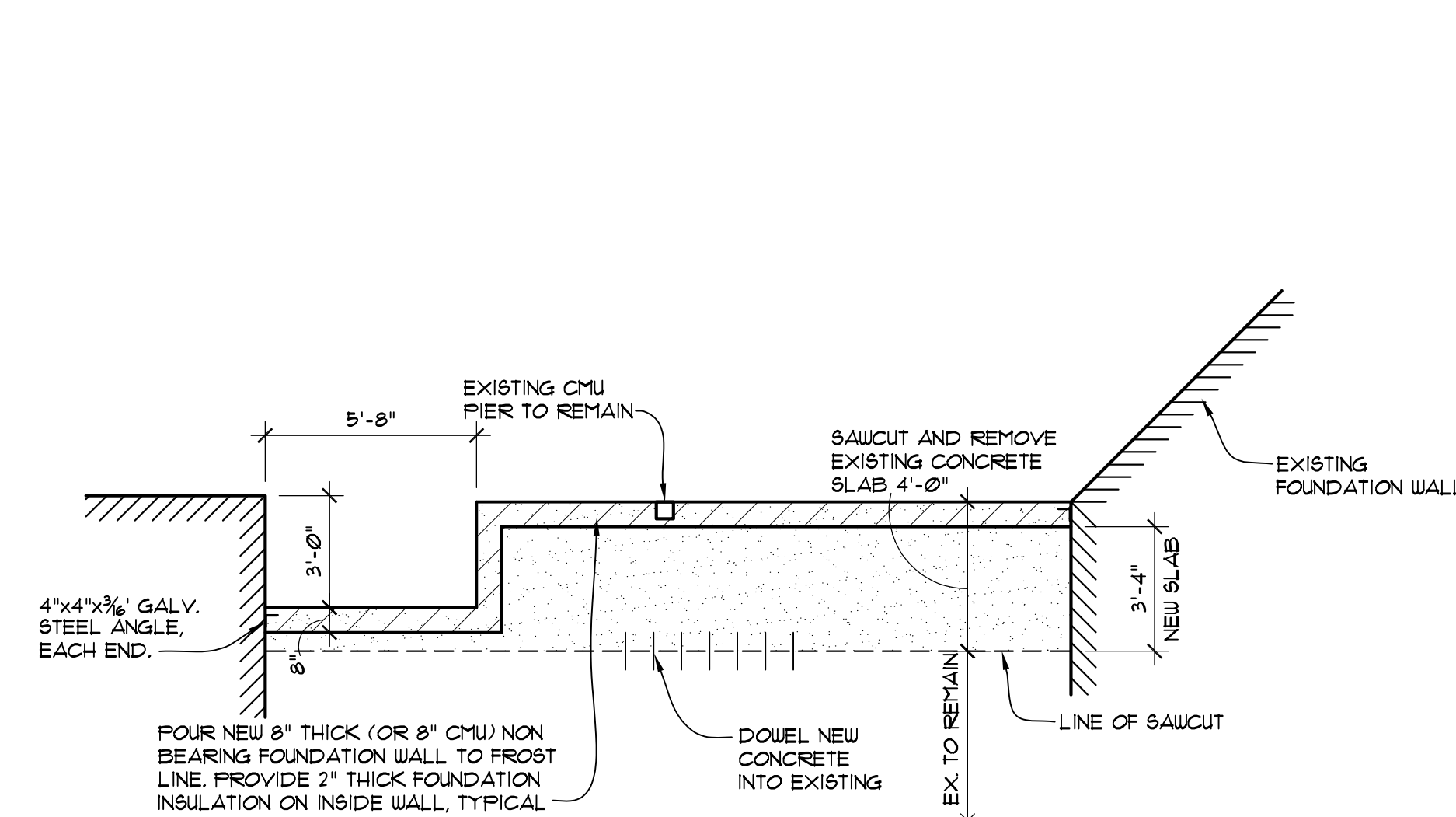


4 EAST ELEVATION  
1/8" = 1'-0"

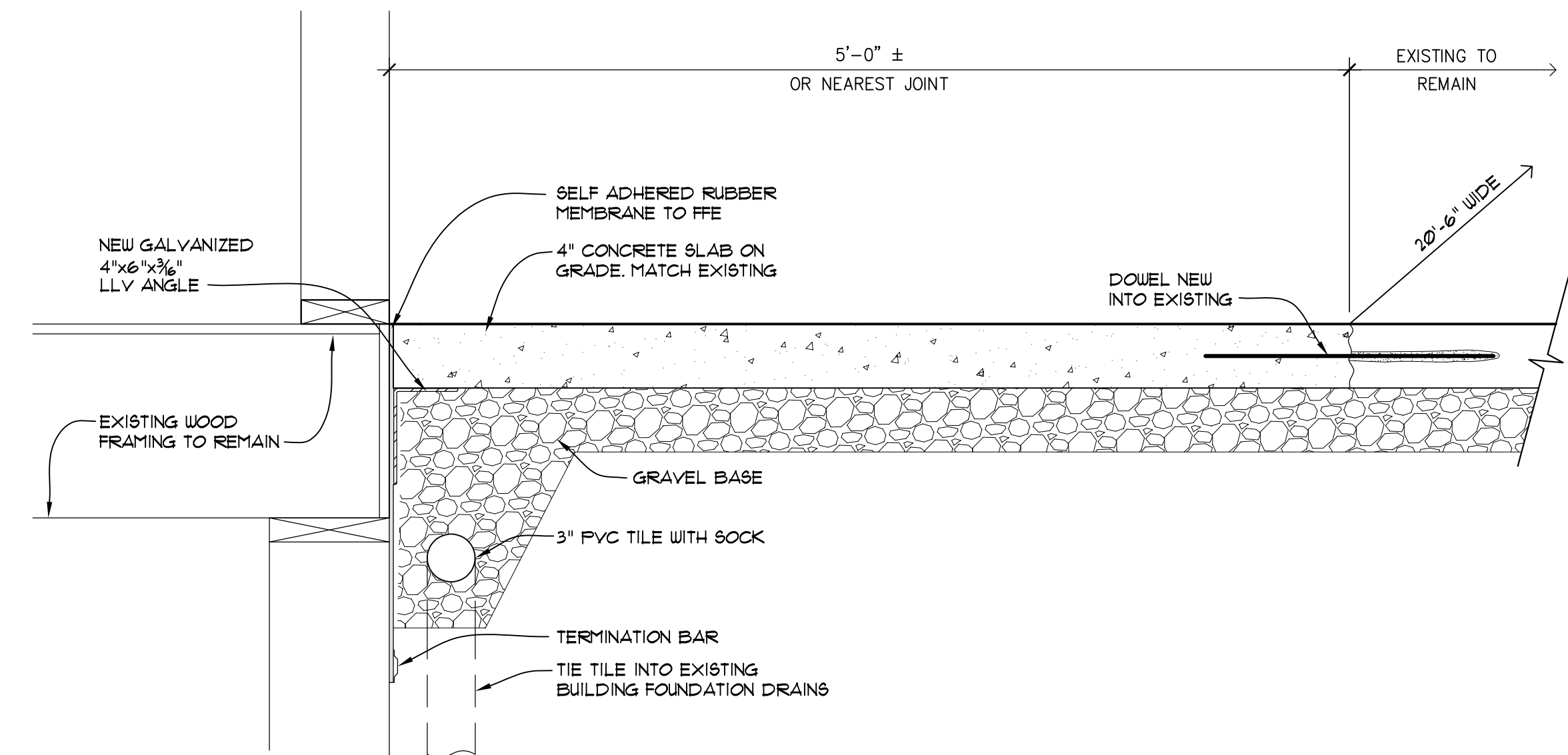


1 NORTH ELEVATION  
1/8" = 1'-0"

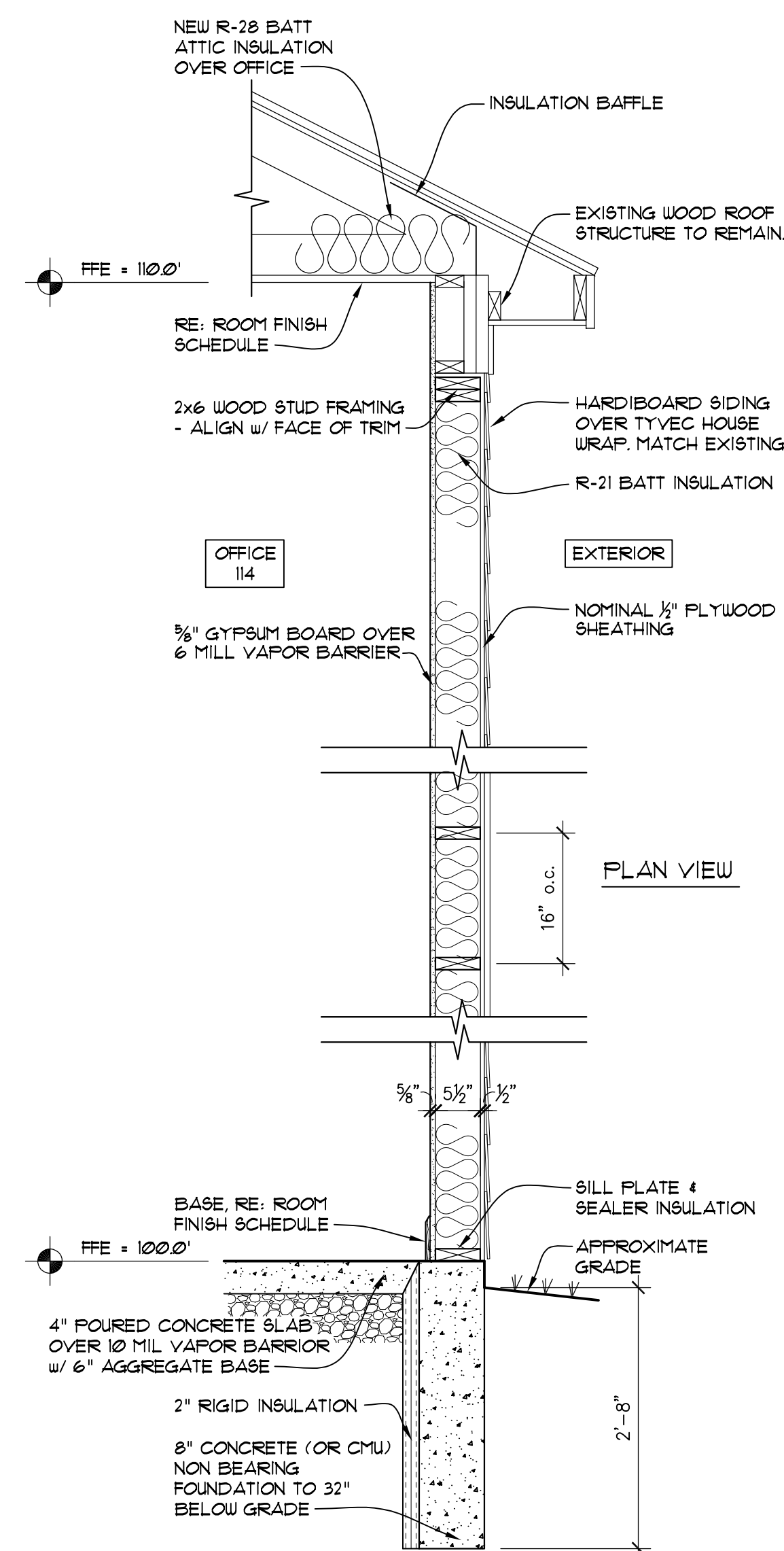
EXTERIOR ELEVATIONS	
DEER HAVEN PARK VISITORS CENTER OFFICE RENOVATION	
PREPARED FOR: PRESERVATION PARKS 2656 HOGBACK ROAD SUNBURY, OH 43074	
schorr architects inc.	230 Bradenton Ave. Dublin, OH 43017 (614)798-2096
CD: 09-10-2019	
50% REVIEW SET 08-05-2019	
COMM. NO.: 1917	
A3.0	<div> <div>STATE OF OHIO</div> <div>REGISTERED ARCHITECT</div> <div>TONY R. SCHORR, LICENSE #8879</div> <div>EXPIRATION DATE 12/31/2019</div> </div>
	<div> <div>SIGNED Tony Schorr</div> <div>DATE 09-10-2019</div> </div>



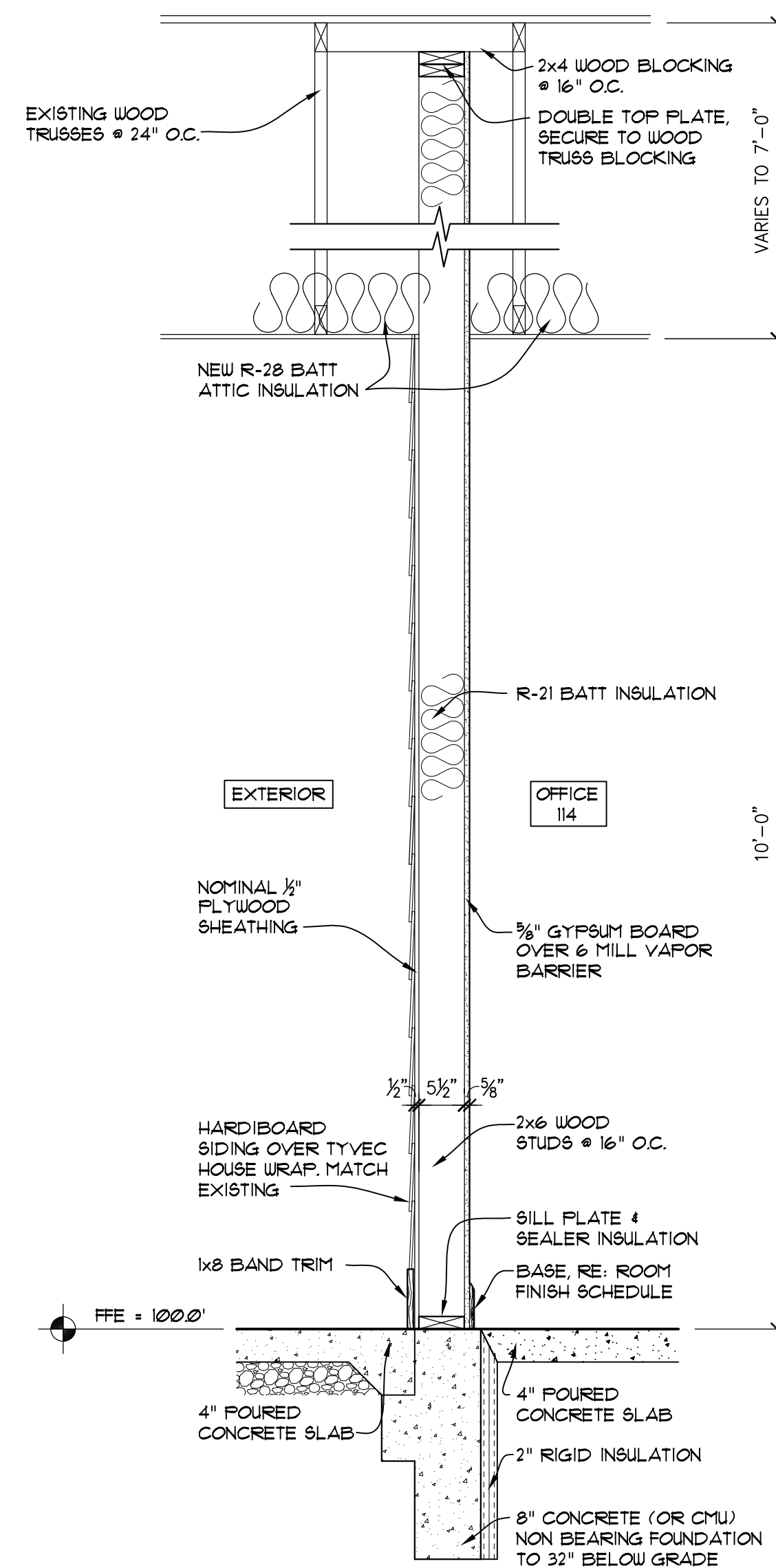
1 SLAB DETAIL  
1/4" = 1'-0"



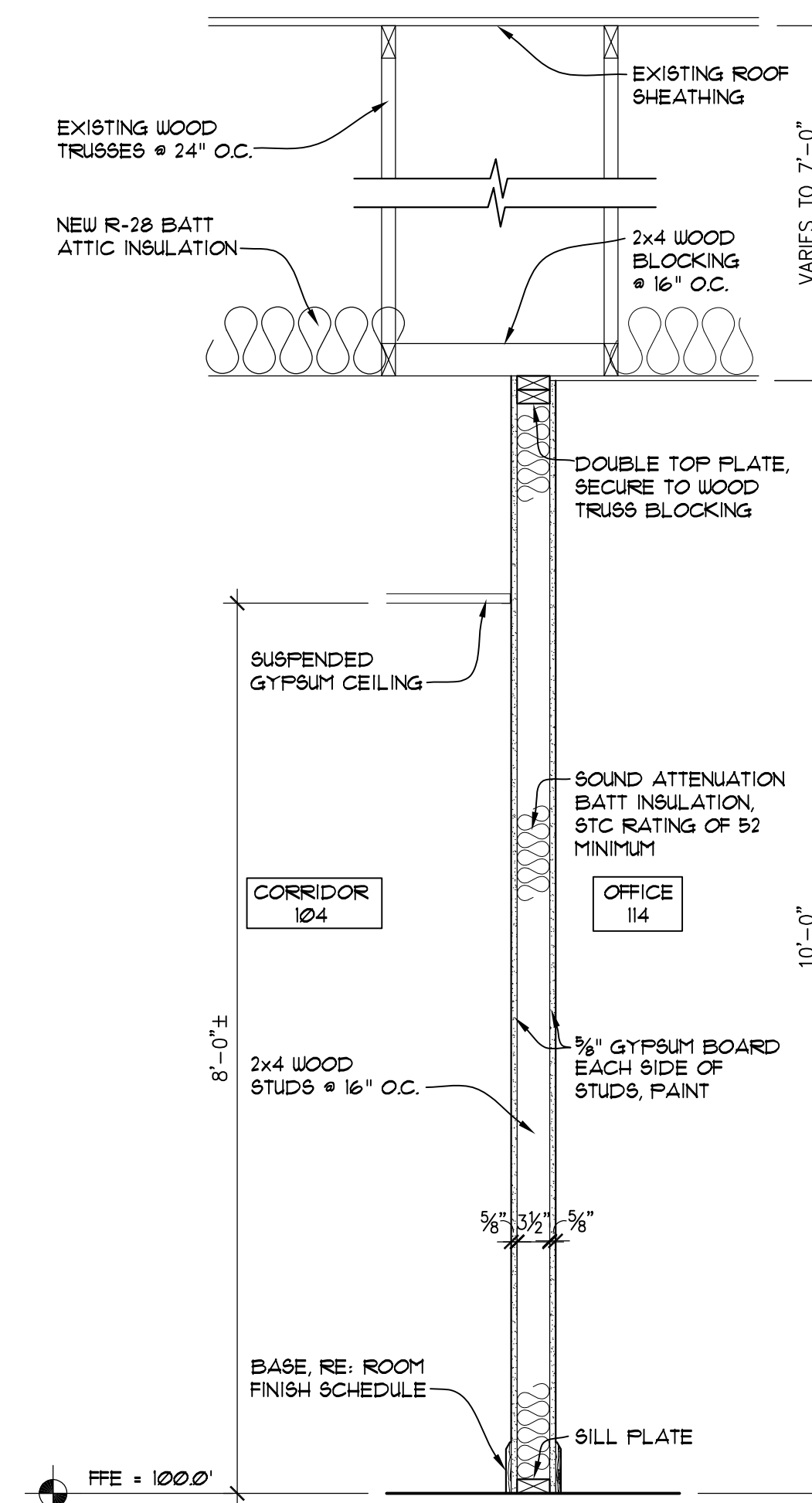
2 DETAIL  
1 1/2" = 1'-0"



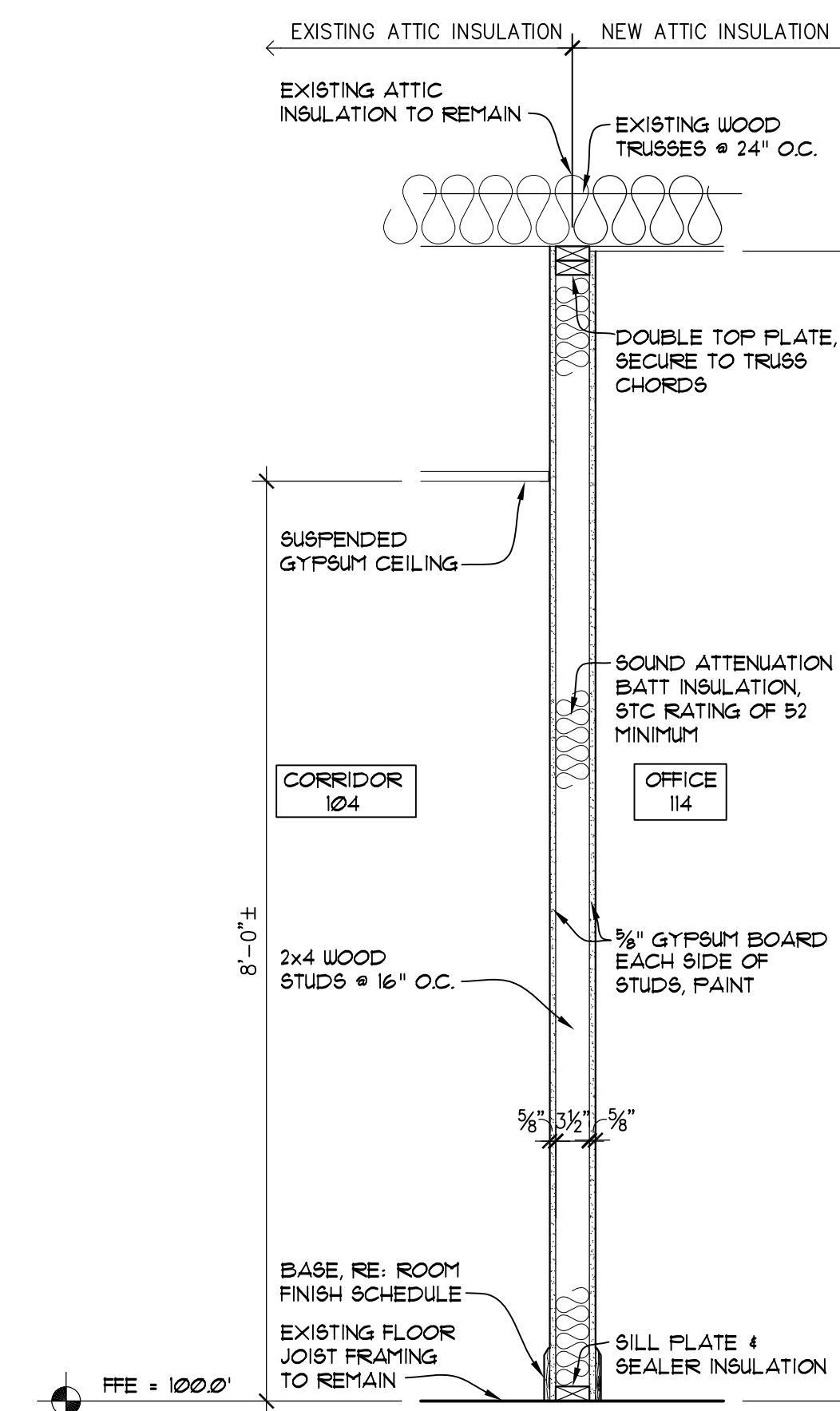
D WALL SECTION  
3/4" = 1'-0"



C WALL SECTION  
3/4" = 1'-0"



B WALL SECTION  
3/4" = 1'-0"



A WALL SECTION  
3/4" = 1'-0"

## BUILDING & WALL SECTIONS AND DETAILS

### DEER HAVEN PARK VISITORS CENTER OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

**schorr architects inc.**

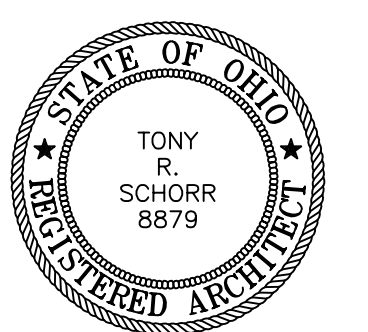
230 Bradenton Ave.  
Dublin, OH 43017  
(614) 798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

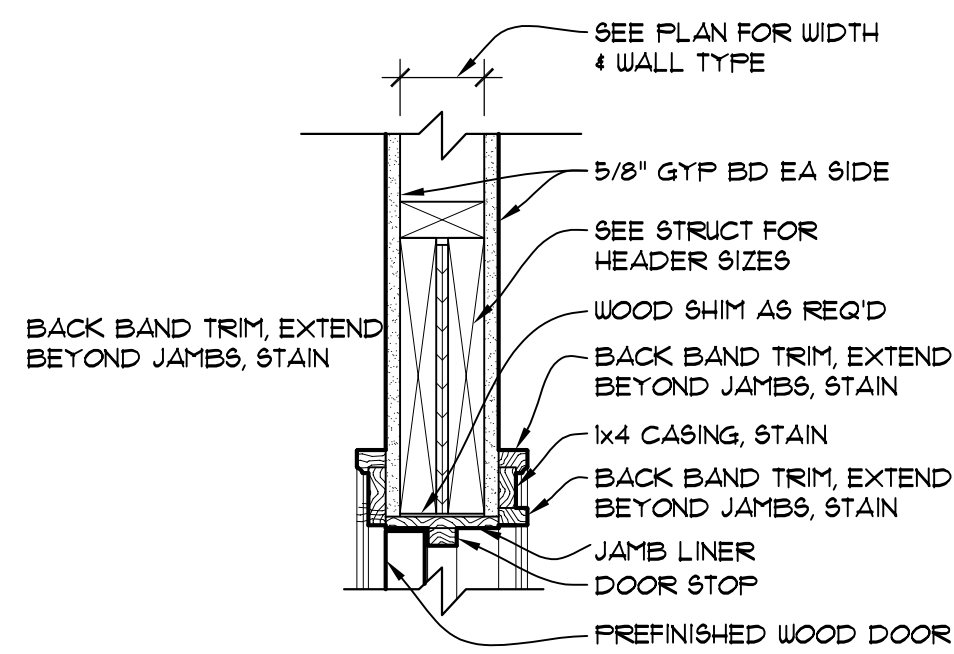
A4.0



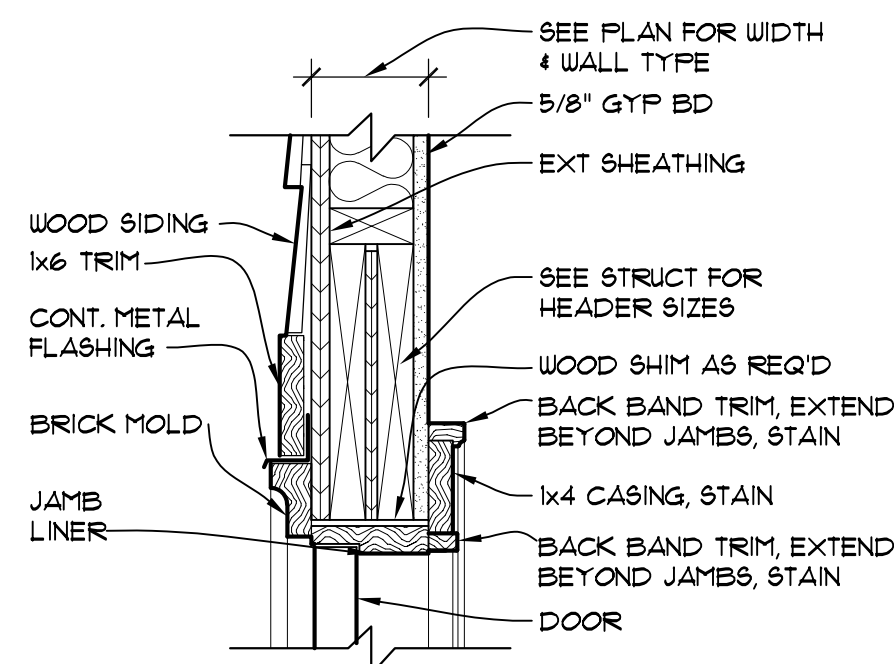
TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019

SIGNED *Tony Schorr* 09-10-2019  
DATE

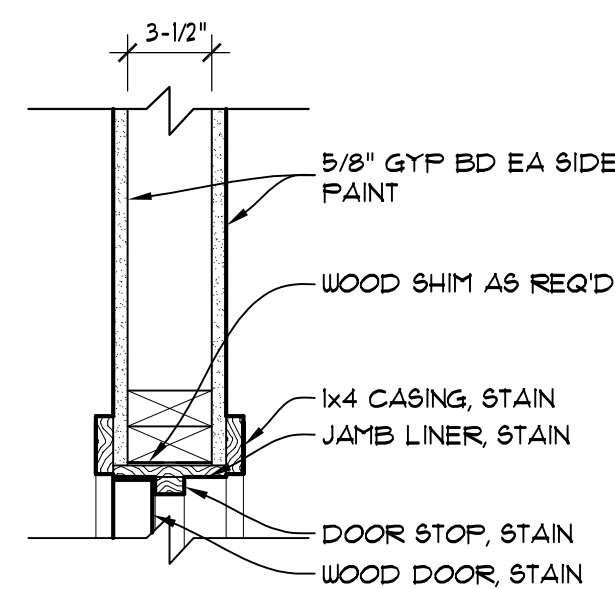




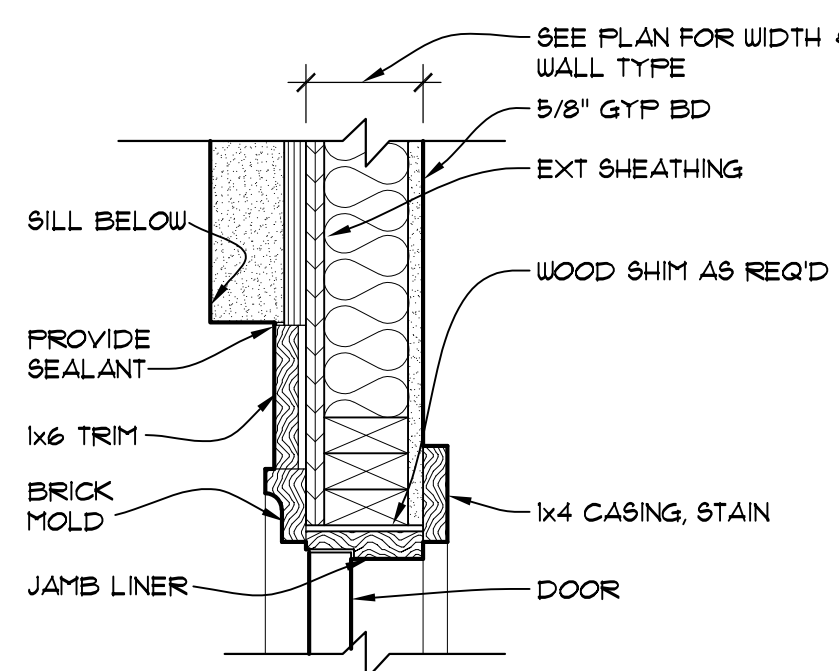
12 DOOR HEAD  
1 1/2" = 1'-0"



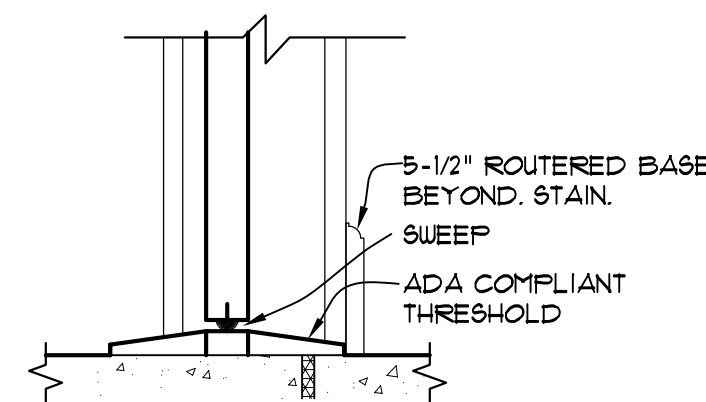
11 DOOR HEAD  
1 1/2" = 1'-0"



10 DOOR JAMB  
1 1/2" = 1'-0"

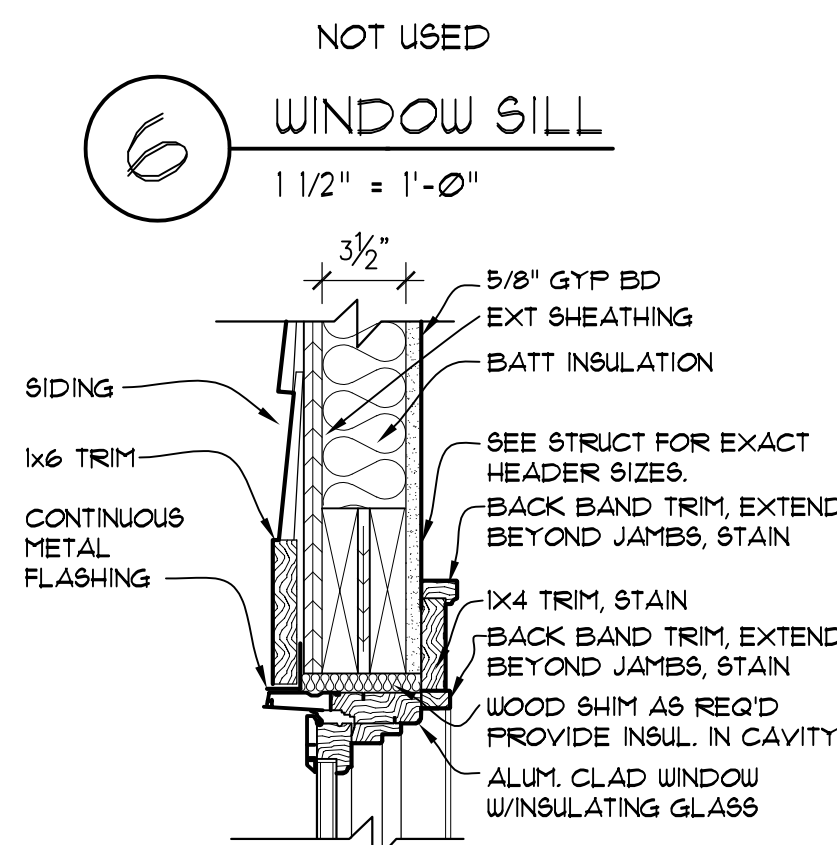


9 DOOR JAMB  
1 1/2" = 1'-0"

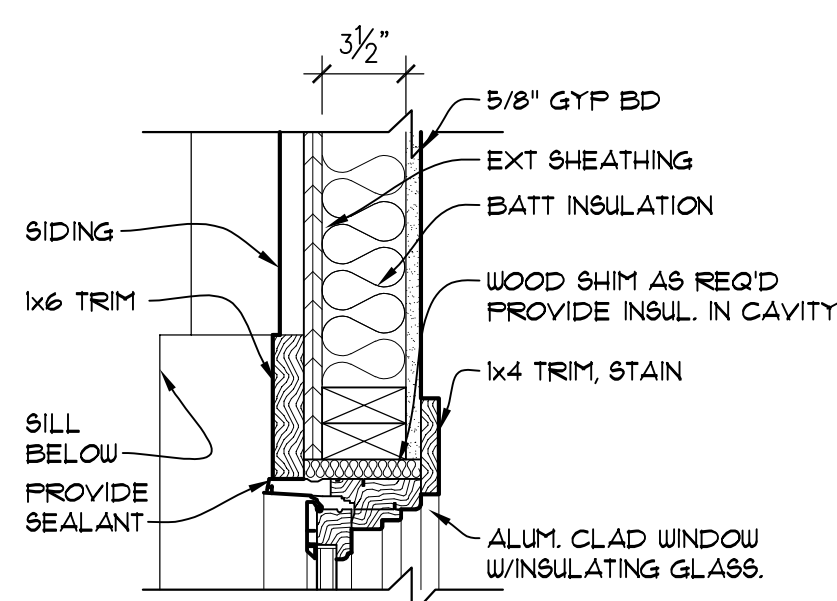


8 DOOR SILL  
1 1/2" = 1'-0"

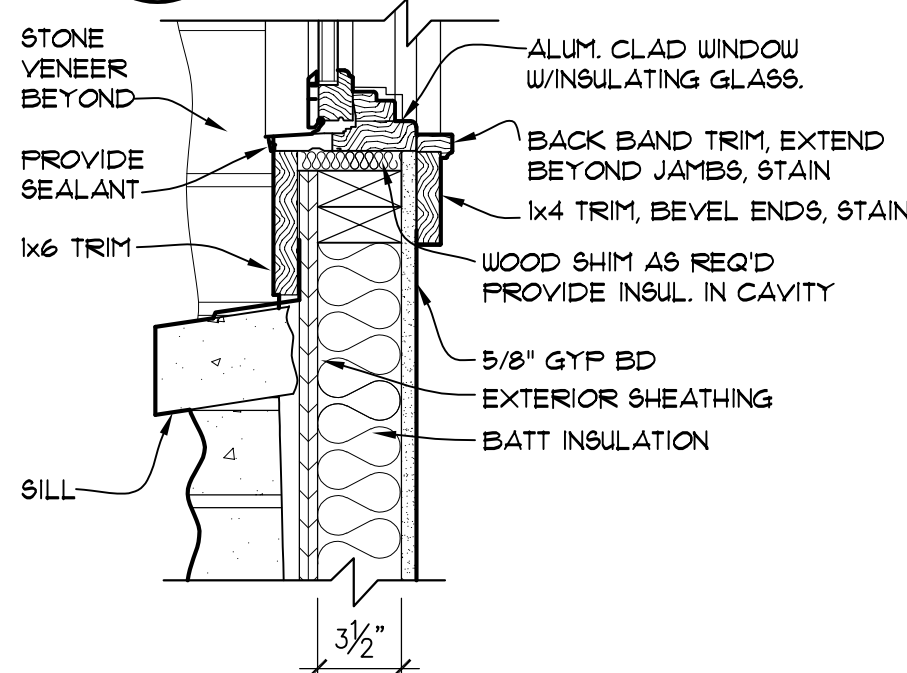
7 WINDOW HEAD  
1 1/2" = 1'-0"



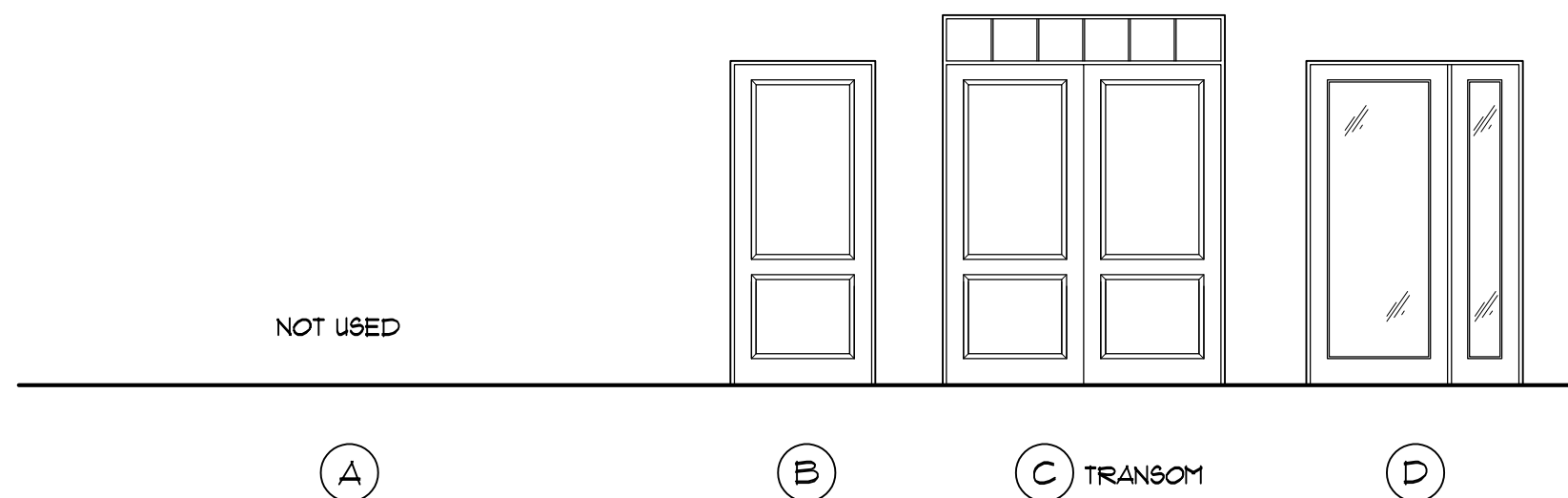
5 WINDOW HEAD  
1 1/2" = 1'-0"



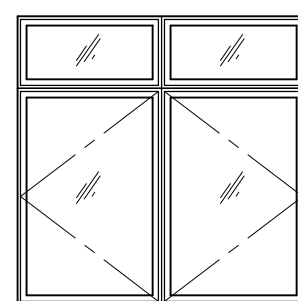
4 WINDOW JAMB  
1 1/2" = 1'-0"



3 WINDOW SILL  
1 1/2" = 1'-0"



1 DOOR ELEVATIONS  
1/4" = 1'-0"



2 WINDOW ELEVATIONS  
1/4" = 1'-0"

#### WINDOW SCHEDULE:

DESIGNATION	SIZE	TYPE	HEAD	JAMB	SILL	ELEV.	REMARKS
A	4'-2" x 6'-0"	CASEMENT	5	4	3	B	1, 2, 3

#### REMARKS:

- 2-WIDE TRANSOM OVER WOOD CLAD
- 1'-0" HEAD HEIGHT
- WOOD CLAD EXTERIOR, STAIN GRADE INTERIOR:
  - FELLA
  - ANDERSON
  - MARVIN

#### DOOR SCHEDULE:

INFORMATION		CONSTRUCTION DETAILS								
DESIGNATION	SIZE	TYPE	ELEV.	HARDWARE	HEAD	JAMB	SILL	FIRE RT'G.	REMARKS	
106	3'-0" x 1'-0" x 1-3/4"	FULL-LITE WOOD CLAD	D	REUSE EX.	11	9	8		1	
107	(2) 3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	C	REUSE EX.	12	10	--	20 MIN.	1	
108	3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	B	N/A	--	--	--	45 MIN.	2	
109	3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	B	N/A	--	--	--		2	
110	3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	B	N/A	--	--	--		2	
111	(2) 3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	C	N/A	--	--	--	20 MIN.	2, 3	
114	3'-0" x 1'-0" x 1-3/4"	2-PANEL WOOD	B	1	12	10	--	20 MIN.	4	

#### REMARKS:

- DISCONNECT, REMOVE AND RELOCATE AS INDICATED ON CONSTRUCTION PLAN, REUSE EXISTING HARDWARE.
- EXISTING TO REMAIN, PROVIDE NEW FLOORING TRANSITION STRIP IN CENTER OF DOOR.
- PROVIDE NEW 180° HINGE PANEL AND CLOSER ON RIGHT SIDE ACTIVE LEAF. HOLD OPEN AT 180°.
- MATCH EXISTING INTERIOR WOOD DOORS.

#### DOOR SCHEDULE GENERAL NOTES:

- ALL DOORS IN FIRE RATED WALL ASSEMBLIES TO HAVE PROPER FIRE PROTECTION RATING PER ASTM E152.
- ALL FIRE DOORS REQUIRED TO HAVE MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN A CORRIDOR OR SMOKE BARRIER PARTITION SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C. FIRE DOORS SHALL ALSO MEET THE REQUIREMENTS FOR A SMOKE AND DRAFT CONTROL ASSEMBLY TESTED IN ACCORDANCE WITH UL 1784.
- EGRESS DOORS TO BE READILY OPENABLE FROM APPROPRIATE SIDE WITHOUT THE USE OF A KEY, KNOWLEDGE, OR SPECIAL EFFORT.
- THRESHOLD AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT, RAISED THRESHOLDS AND FLOOR LEVEL CHANGES SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- DOOR HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL HAVE A HANDLE THAT IS EASY TO GRASP WITH ONE HAND, DOES NOT REQUIRE TIGHT GRASPING OR TWISTING AT THE WRIST TO OPERATE.
- DOOR CLOSERS SHALL HAVE AN ADJUSTABLE SWEET PERIOD SO THAT FROM AN OPEN POSITION OF 10 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH. THE MAXIMUM OPERATING FORCE FOR INTERIOR NON-RATED DOOR ASSEMBLIES SHALL NOT EXCEED 5 LBS.

#### HARDWARE SET #1

- (3) HINGES (BB 1219 4.5x4.5)  
(1) CLASSROOM LOCK - LEVER HANDLE (MATCH EXISTING)  
(1) CORE, MATCH EXISTING (20-140)  
(1) WALL STOP (W5401CVX)

#### WINDOW AND DOOR DETAILS

#### DEER HAVEN PARK VISITORS CENTER OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

**schorr architects inc.**

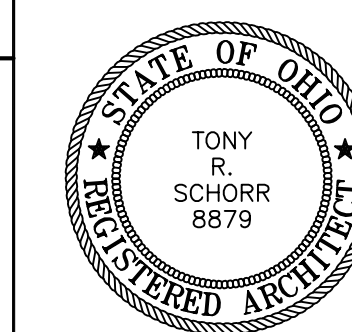
230 Bradenton Ave.  
Dublin, OH 43017  
(614) 798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

A5.0



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019

SIGNED *Tony Schorr* 09-10-2019  
DATE



ELECTRICAL GENERAL NOTES

1. ARRANGE FOR INSPECTION OF THE WORK BY THE CODE AUTHORITY HAVING JURISDICTION.
2. ALL WORK SHALL COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE AND ALL STATE AND LOCAL CODES.
3. ALL WIRING SHALL BE COPPER #12 THIN MINIMUM SIZE.
4. INSTALL FULL WIRE IN ALL EMPTY CONDUITS.
5. FIELD VERIFY EXACT LOCATIONS OF SERVICE ENTRY PANELS, ETC AND COORDINATE LOCATION WITH OTHER CONTRACTORS.
6. CONTRACTOR IS RESPONSIBLE FOR ALL FEES, ADDITIONAL PERMITS AND INSPECTION RELATED WORK. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIRE ALARM PERMIT.
7. WIRE NEW EXIT, EMERGENCY LIGHTS TO NEAREST FIXTURE LIGHTING CIRCUIT BY-PASSING SWITCH.
8. FIELD VERIFY EXACT LOCATION OF OTHER CONTRACTOR'S EQUIPMENT AND PROVIDE EXACT POWER REQUIREMENTS.
9. ALL DEVICES, CONTROLS, SWITCHES, ETC. TO BE LOCATED AT MINIMUM ADA HEIGHTS: SWITCHES AT 48" RECEPTACLES AT 18".
10. ALL NEW WIRING TO BE METALLIC AND FOLLOW REQUIREMENTS AS SET FORTH IN THE NEC.
11. WIRE SMOKE DETECTORS TO FIRE ALARM SYSTEM. FIRE ALARM CONTRACTOR TO PROVIDE ADDITIONAL SMOKE DETECTORS IF INDICATED BY FIRE ALARM SHOP DRAWINGS.
12. PROVIDE (1) CAT 6 DATA CABLES AT EACH DATA DROP.
13. COORDINATE RECEPTACLE / JUNCTION BOX REQUIREMENTS WITH ALL EQUIPMENT PRIOR TO ROUGH IN.
14. ALL ITEMS TO BE MADE FULLY OPERATIONAL BY CONTRACTOR.

EQUIPMENT SCHEDULE:

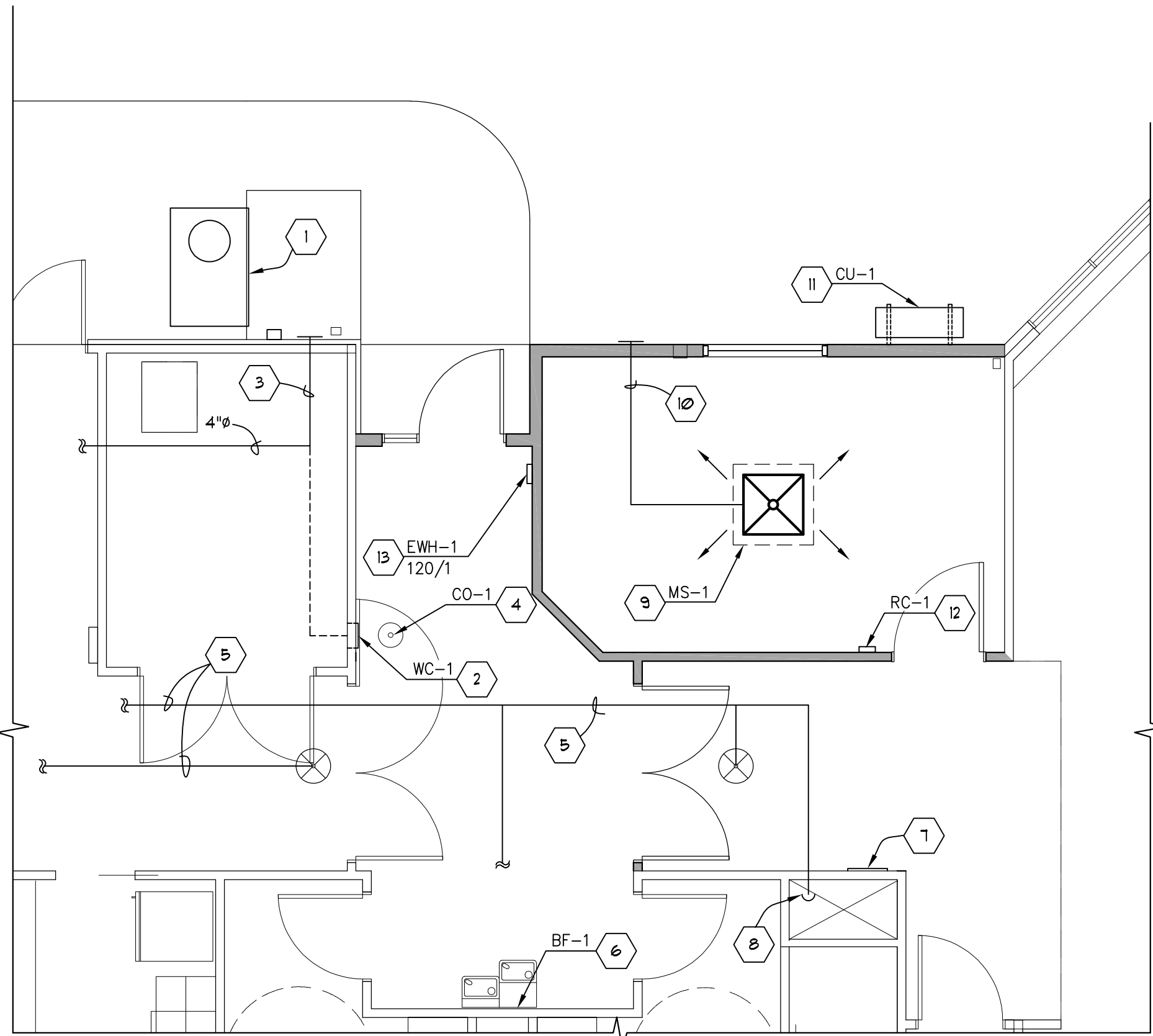
- MS-1: LG 12KBTU COOLING/HEATING HEAT PUMP CEILING CASSETTE CONDITIONING SYSTEM 13.4 SEER. PROVIDE COMPLETE WITH LINE SETS, DRAIN TUBING, DISCONNECT BOX AND CONNECTION WIRING. 208/230 VOLTS, SINGLE PHASE, 20 AMP CIRCUIT. MODEL NO. LG128HV4.
- CU-1: OUTDOOR CONDENSER - SINGLE ZONE, INCLUDED WITH MINI-SPLIT PACKAGE, 12000 COOLING BTU, LOW AMBIENT HEATING.
- BF-1: RETROFIT BOTTLE FILLER, HANDS FREE ACTIVATION COMPATIBLE WITH EXISTING DRINKING FOUNTAIN UNIT. OASIS FUEBF OR EQUIVALENT.
- CO-1: EXISTING CLEANOUT TO REMAIN, FLUSH OUT WITH NEW FLOOR FINISH.
- WC-1: EXISTING WALL CAP AND DUCTWORK TO BE RELOCATED TO OUTSIDE WALL IN STORAGE ROOM.
- EW-H-1: ELECTRIC WALL HEATER, LED TOUCH CONTROL, WHITE, MODEL 95H04000 SERIES BY Q-MARK - DAYTON.
- RC-1: MINI-SPLIT REMOTE CONTROL. PROVIDE WITH WALL MOUNTED HOLDER.

HYAC GENERAL NOTES

1. CONTRACTOR SHALL INSTALL ALL EQUIPMENT, DUCTWORK, ETC. PER ALL LOCAL, STATE AND FEDERAL CODES, PER THE RECOMMENDATIONS OF THE MANUFACTURER AND PER APPLICABLE GUIDELINES OF SMACNA AND ASHRAE.
2. COORDINATE ALL EQUIPMENT LOCATIONS, ROUTING, ETC. IN THE FIELD WITH THE GENERAL CONTRACTOR AND ALL OTHER TRADES. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF THEIR EQUIPMENT THAT HAS NOT BEEN SO COORDINATED AND CAUSES CONFLICTS.
3. DUCTWORK SHALL BE GALVANIZED STEEL, LOW PRESSURE TYPE AS OUTLINED BY SMACNA.
4. INSULATE ALL DUCTWORK ASSOCIATED WITH EQUIPMENT: 1", 1 LB. DENSITY DUCT-URAP WITH VAPOUR BARRIER.
5. PROVIDE ALL TRANSITIONS, BOOTS, FITTINGS, ETC. AS REQUIRED TO ACHIEVE DUCT/DIFFUSER/REGISTER CONNECTIONS. FIELD VERIFY EXACT REQUIREMENTS.
6. HVAC CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING COMPLETE SYSTEM OF HVAC EQUIPMENT, PIPING, DUCTWORK, ETC. DRAWINGS ARE SYSTEMATIC IN NATURE AND CONTRACTOR IS RESPONSIBLE FOR FIELD COORDINATING AND ROUTING OF ALL PIPING AND DUCTWORK WITH RESPECT TO CONSTRUCTION, ATTIC TRUSSES, OTHER TRADES, ETC. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL OFFSETS, JOGS, TRANSITIONS, CORE DRILLS, WALL CUTS, LINTELS AND OTHER NECESSARY FITTINGS TO INSTALL WORK WORK WHICH HAS BEEN INSTALLED AND HAS NOT BEEN COORDINATED WITH OTHER TRADES AND HAS TO BE.
7. RELOCATION SHALL BE DONE AT THE EXPENSE OF THIS CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING TO EQUIVALENT DUCT SIZES IN ATTIC AND SOFFIT SPACES AS NECESSARY AND AS NOTED ON THE ARCHITECTURAL DRAWINGS IN REFERENCE TO REQUIRED SOFFITS, MINIMUM CEILING HEIGHTS, AND DUCTWORK SIZES NOTED ON HVAC PLAN, AND AS REQUIRED TO ROUTE DUCTS THROUGH TRUSS AND JOIST SPACES. MAINTAIN DESIGN VELOCITIES.
8. CONTRACTOR SHALL OBTAIN A COMPLETE SET OF PLANS AND BE FAMILIAR WITH THE ENTIRE PROJECT IN ORDER TO UNDERSTAND THE COMPLETE SCOPE OF THE PROJECT.
9. HVAC CONTRACTOR RESPONSIBLE FOR CUTTING AND PATCHING OF ALL PENETRATIONS: ROOF, CEILING, FLOORS, WALL, ETC.
10. DUCT DIMENSIONS ARE INSIDE FREE CLEAR.
11. HVAC CONTRACTOR IS TO ENSURE ALL DUCTWORK JOINTS ARE APPROPRIATELY SEALED.
12. HVAC CONTRACTOR IS TO COORDINATE WITH THE ELECTRICAL AND PLUMBING CONTRACTORS, TO INSURE TO PROVIDE FOR REQUIREMENTS OF THE NEW HVAC UNITS.

2 ELECTRICAL PLAN

1/4" = 1'-0"



1 HYAC PLAN

1/4" = 1'-0"

CODED NOTES

INDICATED BY:

- APPLICABLE TO ELECTRICAL PLAN
1. EXISTING ELECTRICAL DEVICE INDICATED BY "EX" TO REMAIN, UNO.
  2. EXISTING EXIT SIGN TO BE RELOCATED. PROVIDE DIRECTIONAL KNOCKOUT AS INDICATED BY ARROW. EXTEND WIRING TO NEW LOCATION, MAINTAIN CIRCUIT.
  3. EXISTING REMOTE HEAD EMERGENCY LIGHTING TO BE RELOCATED. EXTEND WIRING TO NEW LOCATION.
  4. EXISTING OUTDOOR RECEPTACLE. CHANGE TO STANDARD TYPICAL INDOOR RECEPTACLE AND COVER PLATE.
  5. COMBINATION DATA (CAT 6) AND TELEPHONE OUTLET. HOME RUN DATA/TELEPHONES LINES TO EXISTING PANEL BOARD IN BASEMENT.
  6. TIE INTO EXISTING CORRIDOR LIGHT SWITCHING AND CIRCUIT. VERIFY LOAD ON CIRCUIT PRIOR TO INSTALLATION.
  7. EXISTING RECESSED EXTERIOR CAN LIGHT. FIXTURE TO BE RELOCATED TO THIS LOCATION. EXTEND WIRING TO NEW LOCATION, MAINTAIN CIRCUIT AND SWITCHING.
  8. REMOVE AND TURN OVER EXISTING RECESSED CAN LIGHT TO OWNER.
  9. WALL SWITCH OCCUPANCY AND VACANCY SENSOR. PASSIVE INFRARED SENSOR, 180° VISION.
  10. EWH-1, 120/240 VOLT. WIRE TO CIRCUIT IN EXISTING PANEL BOARD 'B'. CHANGE OUT CIRCUIT BREAKER AND UPDATE PANEL DIRECTORY. #12 AWG MINIMUM.
  11. WIRING TO CIRCUIT IN EXISTING PANEL BOARD 'B' - #12 AWG MINIMUM.
  12. MINI SPLIT HEAT PUMP UNIT. WIRE TO CIRCUIT IN EXISTING PANEL BOARD 'B'. PROVIDE BREAKER SIZE AS RECOMMENDED BY MANUFACTURER. #12 AWG MINIMUM.
  13. CONDENSING UNIT. WIRE TO CIRCUIT IN EXISTING PANEL BOARD 'B'. PROVIDE BREAKER SIZE AS RECOMMENDED BY MANUFACTURER. #12 AWG MINIMUM.
  14. RUN NEW ELECTRICAL CIRCUITS AND DATA WIRING UP FROM EXISTING BASEMENT PANEL BOARD LOCATION IN THIS WALL. BRANCH TO NEW LOCATIONS.
  15. WALL MOUNTED EXIT LIGHT. TIE INTO EXISTING EMERGENCY EXIT CIRCUIT.

CODED NOTES

INDICATED BY:

- APPLICABLE TO HVAC PLAN
1. EXISTING CONDENSING UNIT AND LINE SETS TO REMAIN. NO WORK REQUIRED.
  2. EXISTING DUCTWORK AND WALL CAP TO BE RELOCATED TO END WALL.
  3. RELOCATED DUCTWORK AND END CAP LOCATION. FIELD VERIFY EXACT LOCATION.
  4. EXISTING FLOOR CLEAN OUT TO REMAIN. FLUSH WITH NEW FLOOR FINISH.
  5. EXISTING ABOVE CEILING DUCTWORK TO REMAIN.
  6. PROVIDE RETROFIT BOTTLE FILLER ON EXISTING LOW SIDE DRINKING FOUNTAIN. FIELD VERIFY.
  7. EXISTING HIGH/LOW SIDEWALL RETURN AIR GRILLES IN FURNACE IN BASEMENT.
  8. EXISTING SUPPLY AIR DUCTWORK FROM BASEMENT FURNACE.
  9. NEW CEILING MOUNTED HVAC MINI-SPLIT UNIT. TRIM OUT WITH WOOD TO MATCH EXISTING CEILING.
  10. 4" FRESH AIR INTAKE AND WALL CAP PER MANUFACTURERS RECOMMENDATIONS.
  11. OUTDOOR CONDENSING UNIT. PROVIDE WITH WALL BRACKET MOUNTING.
  12. REMOTE CONTROL WALL BRACKET.
  13. RECESSED ELECTRIC WALL HEATER. MOUNT 24" ABOVE FINISH FLOOR TO BOTTOM OF UNIT.

MECHANICAL & ELECTRICAL PLANS

DEER HAVEN PARK VISITORS CENTER OFFICE RENOVATION

PREPARED FOR:  
PRESERVATION PARKS  
2656 HOGBACK ROAD  
SUNBURY, OH 43074

**schorr architects inc.**

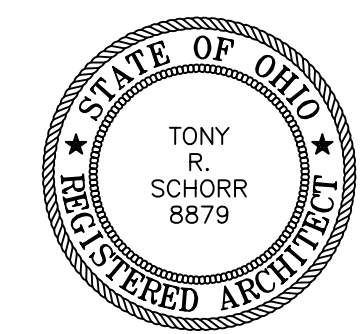
230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

CD: 09-10-2019

50% REVIEW SET 08-05-2019

COMM. NO.: 1917

ME1.0



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2019  
SIGNED *Tony Schorr* 09-10-2019  
DATE



