DEER HAVEN PARK SITE ELECTRIC IMPROVEMENTS

PREPARED FOR:

PRESERVATION PARKS OF DELAWARE COUNTY

2656 HOGBACK ROAD SUNBURY, OHIO 43074

> BID SET JULY 22, 2024

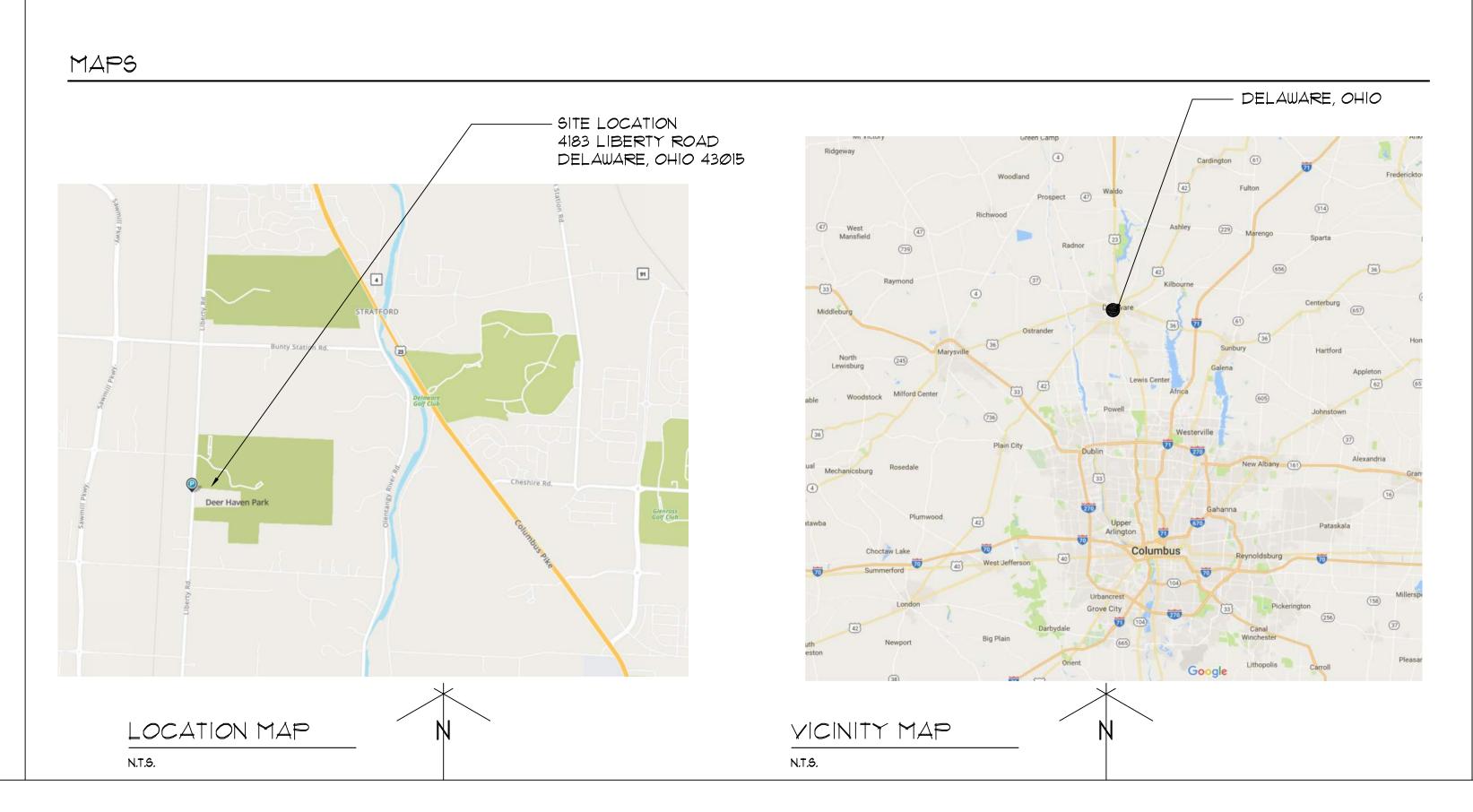






MECHANICAL / ELECTRICAL ENGINEER: ROGER D. FIELDS ASSOCIATES, INC 4588 KENNY ROAD COLUMBUS, OHIO 432209-2777





DRAWING INDEX

COVER

DI COMPOSITE SITE PLAN

SD2 SITE DEVELOPMENT AND STAKING PLAN

D3 RIOSK PLAN

EØ ELECTRICAL GENERAL NOTES & ABBREVIATIONS

ELECTRICAL PLANS
ELECTRICAL SCHEDULES

E3 ELECTRICAL SPECIFICATIONS

ARCHITECT:
230 BRADENTON AVENUE
DUBLIN, OHIO 43017
(614) 798-2096 FAX (614) 798-2097



UTILITY SERVICES INFORMATION ELECTRIC AEP ENERGY P.O. BOX 340 ZELIENOPLE, PA 16063 (866) 258-3782 APPURTENANCES CAN BE CONSTRUCTED. SHARED ENTRANCE ROAD WITH LIBERTY TOWNSHIP BOARD OF TRUSTEES - AREA OF RENOVATION SHOWN HATCHED, REFERENCE ENLARGED PLANS AND DETAILS - HEAVILY WOODED AREA WETLAND WETLAND HEAVILY WOODED AREA -DEER HAVEN PARK PARCEL 41942001047000 PRESERVATION PARK DISTRICT OF DELAWARE COUNTY 4183 LIBERTY ROAD, DELAWARE, OH 43015 84.4 ACRES 3090.01 COMPOSITE SITE PLAN 1" = 140'-0"

EXISTING CONDITIONS & DEMOLITION NOTES:

- 1. SURVEY INFORMATION SHOWN IN THIS PLAN SET WAS PERFORMED BY PARKS BY DESIGN, LLC IN SEPTEMBER 2023 AND PROVIDED BY BERKSHIRE SCHOOLS. SCHORR ARCHITECTS ASSUMES THE SURVEY TO BE ACCURATE & COMPLETE.
- 2. ALL ITEMS SPECIFIED TO BE REMOVED SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFFSITE TO APPROPRIATE WASTE DISPOSAL FACILITIES AT THE CONTRACTORS EXPENSE.
- 3. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY AND STATE.
- 4. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE
- 5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN PROVIDED BY THE SCHOOL DISTRICT AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL OUPS, OR A PRIVATE UTILITY MARKING COMPANY, PRIOR TO CONSTRUCTION, AND TO HAVE ALL EXISTING UTILITIES LOCATED \$
- 1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION), AND ODOT ITEM 614.
- 8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS.
- 9. CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC, TO WARN AND KEEP PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- 10. EXTENTS OF DEMOLITION WORK IS NOT LIMITED TO ONLY WHAT IS SHOWN TO BE DEMOLISHED ON THIS PLAN. DEMOLITION WORK MUST BE COMPLETE SO THE PROPOSED STRUCTURES AND
- 11. THE REMOVAL OF STRUCTURES AND OBSTRUCTIONS SHALL BE IN ACCORDANCE WITH ODOT
- 12. STATE AND LOCAL CODE REQUIREMENTS SHALL CONTROL THE DISPOSAL OF DEBRIS RESULTING FROM THE REMOVAL OPERATION.

COMPOSITE SITE PLAN

DEER HAVEN PARK SITE ELECTRIC IMPROVEMENTS

4183 LIBERTY ROAD DELAWARE, OH 43015

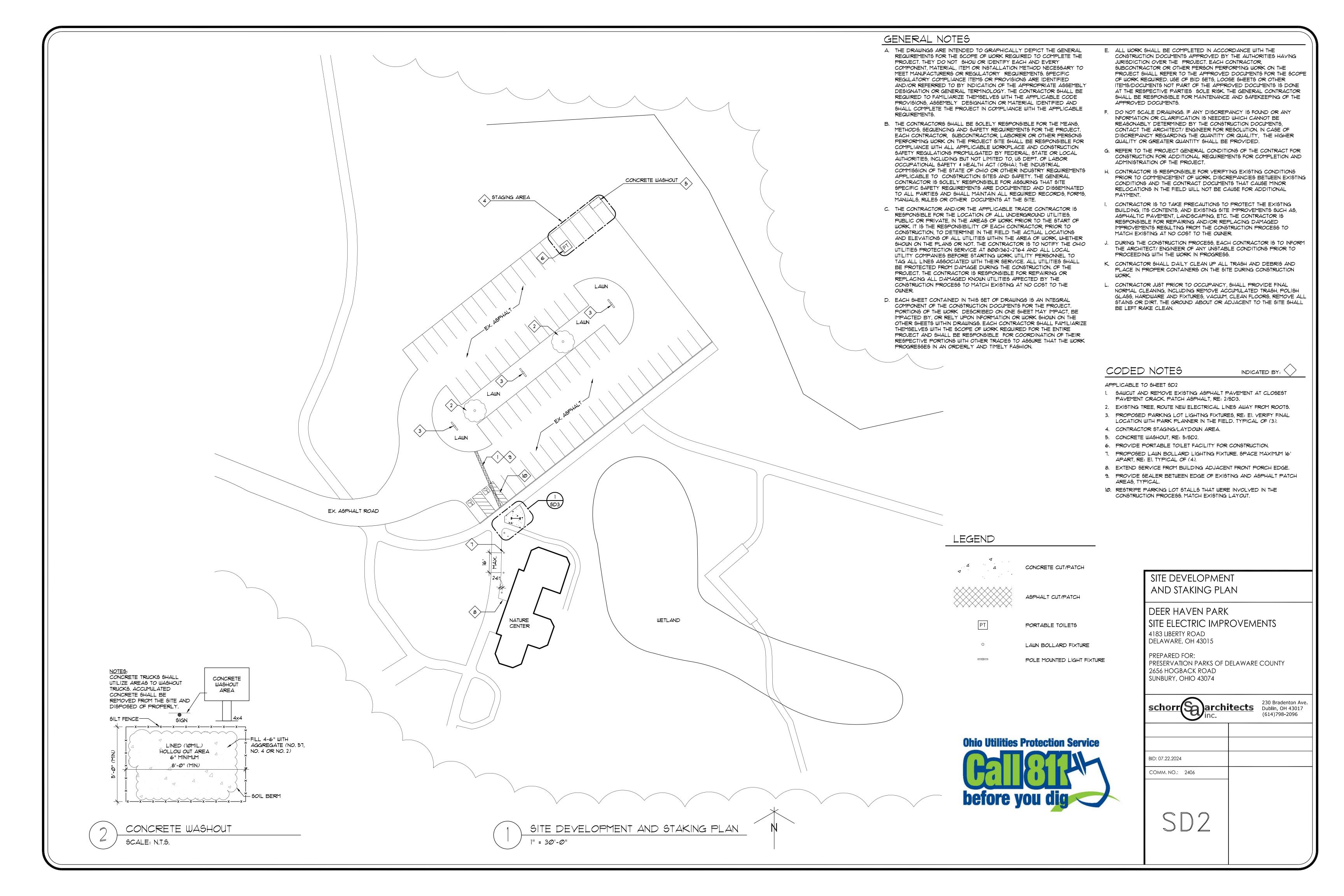
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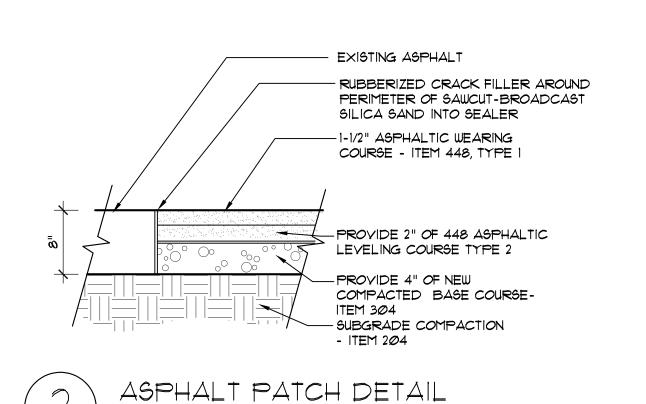
PRESERVATION PARKS OF DELAWARE COUNTY 2656 HOGBACK ROAD SUNBURY, OHIO 43074



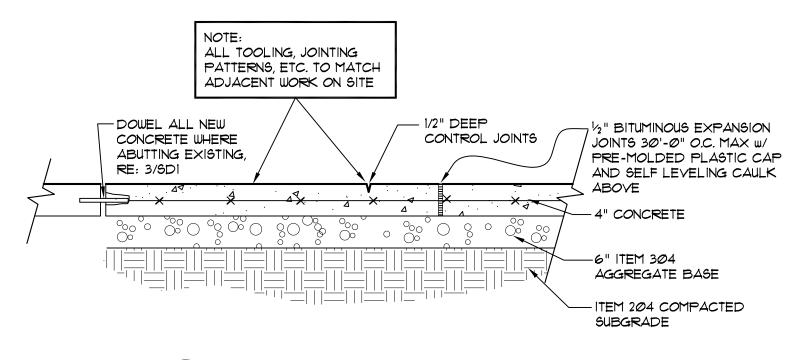
BID: 07.22.2024

COMM. NO.: 2406



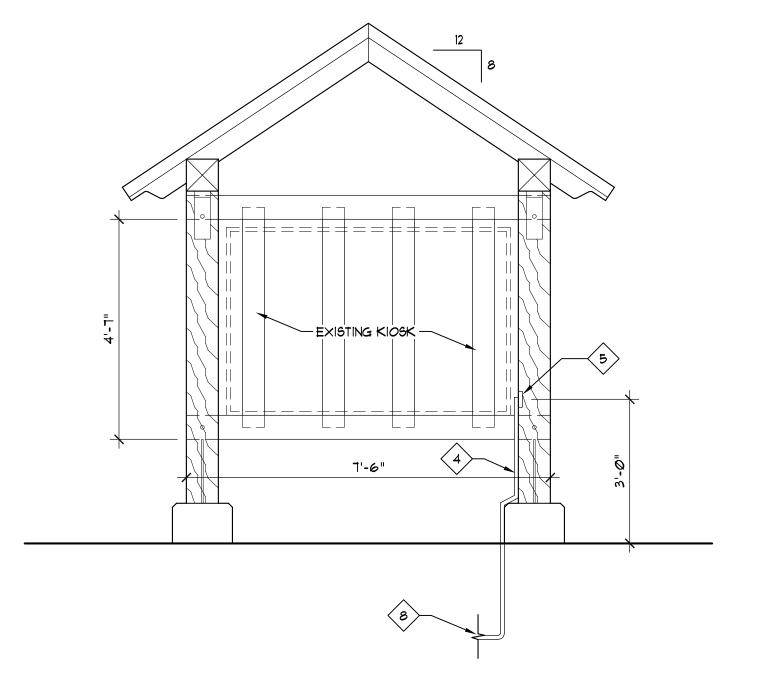


SCALE: 1" = 1'-0"

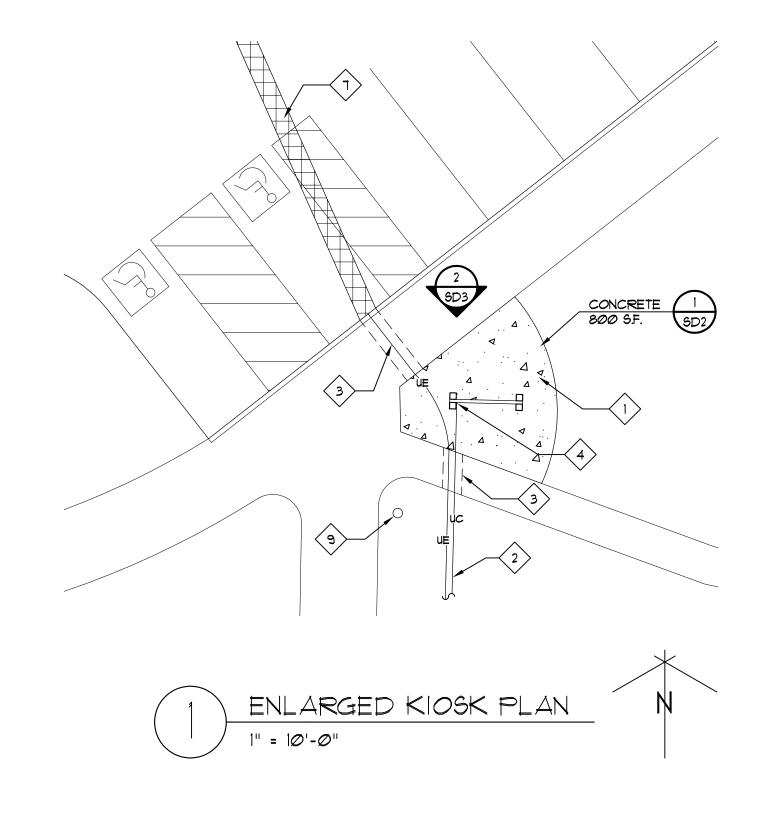


3 CONCRETE SIDEWALK DETAIL

1" = 1'-0"







ENLARGED KIOSK PLAN
and details

DEER HAVEN PARK
SITE ELECTRIC IMPROVEMENTS

4183 LIBERTY ROAD DELAWARE, OH 43015

CODED FLOOR PLAN NOTES: INDICATED BY

1. EXCAVATE AND REMOVE DAMAGED CONCRETE AT BASE OF KIOSK.

2. UNDERGROUND CONDUIT FROM LODGE TO KIOSK FOR FUTURE DIGITAL

4. RISE CONDUIT UP WOOD POST AND TERMINATE IN JUNCTION BOX BETWEEN GAP IN WOOD POSTS, TYPICAL OF (2) CONDUITS AND

6. UNDERGROUND ELECTRIC AND SPARE CONDUIT TO POLE MOUNTED

1. CUT AND PATCH ASPHALT PAVEMENT FOR SERVICE TO PARKING LOT

ISLAND. REFERENCE SHEET SD2 FOR CONTINUATION.

9. PROPOSED LAWN BOLLARD LIGHTING FIXTURE.

8. REFERENCE ELECTRICAL PLAN FOR CONTINUATION AND SIZING

RUN CONDUIT AND REPLACE CONCRETE AS INDICATED.

3. PUSH UNDER SIDEWALK AT THIS LOCATION.

5. JUNCTION BOX AND COVER PLATE.

PARKING LOT FIXTURE.

REQUIREMENTS.

APPLICABLE TO SHEET SD3

BOXES.

PREPARED FOR:
PRESERVATION PARKS OF DELAWARE COUNTY
2656 HOGBACK ROAD
SUNBURY, OHIO 43074

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SD3

GENERAL ABBREVIATIONS

VITRIFIED CLAY PIPE

VIBRATION ISOLATOR

VITRIFIED SEWER PIPE

TEMPERATURE DIFFERENCE

THERMOMETER/ THERMOSTAT

۹. ۹.D.	COMPRESSED AIRAB. ABOVE ACCESS DOOR	G GALV.	GAS GALVANIZED	SPEC. SQ.	SPECIFICATION SQUARE
A.D. A.F.F.	AREA DRAIN ABOVE FINISHED FLOOR	G.C. GEN.	GENERAL CONTRACTOR GENERAL	SQ.FT. S & R	SQUARE FEET SUPPLY & RETURN
٩H	AIR HANDLER	G.I.	GREASE INTERCEPTOR	S.S.	SERVICE SINK
ALT. ALUM.	ALTERNATE ALUMINUM	GPM GR	GALLONS PER MINUTE GRILLE	S.S. S.S., S/S	STORM SEWER STAINLESS STEEL
۹.P.	ACCESS PANEL	GRAV.	GRAVITY	ST	SOUND TRAP
APPROX. ARCH.	APPROXIMATELY ARCHITECT	G.T.C. H./HT.	GENERAL TRADES CONTRACTOR HEIGHT	STAT STD.	THERMOSTAT STANDARD
NRR'T. NUTO.	ARRANGEMENT AUTOMATIC	HAC HB	HEATING AND AIR CONDITIONING HOSE BIBB	STL. STM.	STEEL STORM
٩V	ACID VENT	HORIZ.	HORIZONTAL	SUCT./S	SUCTION
D AW	AT ACID WASTE	HP HP	HIGH PRESSURE HORSEPOWER	SW. SW	SWITCH SOFTENED WATER
k	AND	HPS	HIGH PRESSURE STEAM	TD	TEMPERATURE DIF
: BAL.	ANGLE BALANCING	H.S. HTG.	HAIR STRAINER HEATING	TEMP. THERM.	TEMPERATURE THERMOMETER/ TH
3.D.D.	BACKDRAFT DAMPER	HTR.	HEATER	T'STAT	THERMOSTAT
BFP BHP	BACKFLOW PREVENTER BRAKE HORSEPOWER	HV HV	HEATING & VENTILATING HIGH VELOCITY	T.W. TYP.	TEMPERED WATER TYPICAL
BLDG.	BUILDING	HVAC H'STAT	HEATING, VENTILATING AND AIR CONDITIONING HUMIDISTAT	UC UH	UNDERCUT UNIT HEATER
BSBD. RAL BSMT.	D.BASEBOARD RADIATION BASEMENT	I.D.	INSIDE DIAMETER	UR	URINAL
3.T. 3.T.	BATH TUB BLACKTOP	IN. IND.	INSIDE INDIRECT	UV V.	UNIT VENTILATOR VENT
BTM.	BOTTOM	IND. U.	INDUCTION UNIT	VAC.	VACUUM
STU S.V.	BRITISH THERMAL UNIT BACKWATER VALVE	INV. INV. ELEV.	INVERT INVERT ELEVATION	VC VCP	VACUUM CLEANING VITRIFIED CLAY PIP
AB.	CABINET	INSUL.	INSULATION	VERT.	VERTICAL
CAP. C.B.	CAPACITY CATCH BASIN	INT. J.R.	INTERIOR JANITOR'S RECEPTOR	VIB. ISO. VSP	VIBRATION ISOLATO VITRIFIED SEWER F
C/C	CENTER TO CENTER	K.EC.	KITCHEN EQUIPMENT CONTRACTOR LENGTH	V.T.R. W.	VENT THRU ROOF WIDTH OR WATER
FH	. CEILING CUBIC FEET PER HOUR	L. LAB_	LABORATORY	W/	WITH
FM HEM.	CUBIC FEET PER MINUTE CHEMICAL	L.A.T. LAV	LEAVING AIR TEMPERATURE LAVATORY	WAT. WB	WATER WET BULB
i.l.	CAST IRON	LH	LEFT HAND	WC	WATER CLOSET
;/L ;.O.	CENTERLINE CLEANOUT	LPS LV'G.	LOW PRESSURE STEAM LEAVING	W.G. WH	WATER GAUGE WALL HYDRANT
OL.	COLUMN	L.W.T.	LEAVING WATER TEMP.	WH	WATER HEATER
OMB. ONC.	COMBINATION CONCRETE	M.A. MAN. DPR.	MIXED AIR . MANUAL DAMPER	WO W/O	WASTE OIL WITHOUT
OND.	CONDENSATE/CONDENSER	MAT. MAX.	MATERIAL MAXIMUM	W/W XFMR	WALL TO WALL TRANSFORMER
ONN ONST	CONNECTION/CONNECT CONSTRUCTION	MBH	THOUSAND BTU PER HOUR	YD.	YARD
ONTR.	CONTRACTOR	MECH. MET/MTL.	MECHANICAL METAL	YH	YARD HYDRANT
OORD	CONVECTOR/CONVERTER COORDINATE	MEZZ.	MEZZANINE		
UH U. FT.	CABINET UNIT HEATER CUBIC FEET	MFR. MH	MANUFACTURER MANHOLE		
).	DEEP	MIN.	MINIMUM		
B BL	DRY BULB DOUBLE	MISC. M.O.	MISCELLANEOUS MOTOR OPERATED		
CW	DOMESTIC COLD WATER	MPS	MEDIUM PRESSURE STEAM		
ET. EG. F.	DETAIL DEGREES FARENHEIGHT	MS MTD./MT.	MOTOR STARTER MOUNTED/MOUNT		
).F.	DRINKING FOUNTAIN	N ₂ N.I.C.	NITROGEN NOT IN CONTRACT		
)HW)HWR	DOMESTIC HOT WATER DOM. HOT WATER RETURN	NO./#	NUMBER		
	DIAMETER	NOM. N.T.S.	NOMINAL NOT TO SCALE		
IFF. IM.	DIFFUSER DIMENSION	N ₂ O	NITROUS OXIDE		
ISCH.	DISCHARGE	O. O.A.	OXYGEN OUTSIDE AIR		
).L.).M.	DOOR LOUVER DAMPER MOTOR	O/C	ON CENTER		
N. PR.	DOWN DAMPER	O.D. O.I.	OUTSIDE DIAMETER OIL INTERCEPTOR		
R.	DOOR	OPG.	OPENING		
).S.)W	DOWNSPOUT DISTILLED WATER	OPP. OU./OZ.	OPPOSITE OUNCE		
WH	DOMESTIC WATER HEATER	O.V. P.	OUTLET VELOCITY PROPANE		
)WV)WG.	DRAIN, WASTE AND VENT DRAWING	P.C.	PLUMBING CONTRACTOR		
A.	EACH	P.D. P.I.V.	PRESSURE DROP POST INDICATOR VALVE		
.A.T. .C.	ENTERING AIR TEMPERATURE ELECTRICAL CONTRACTOR	P/L	PROPERTY LINE		
FF. LEC	EFFICIENCY	PLBG. PNEU.	PLUMBING PNEUMATIC		
LEM.	ELECTRIC, ELECTRICAL ELEMENT	PRESS.	PRESSURE		
LEV MERG	ELEVATION EMERGENCY	PRV PROP.	PRESSURE REDUCING VALVE PROPELLER		
NGR.	ENGINEER	PSI PSIG	POUNDS PER SQUARE INCH POUNDS PER SQUARE INCH GAUGE		
NT. QUIP.	ENTERING EQUIPMENT	PSF	POUNDS PER SQUARE FOOT		
S.P.	EXTERNAL STATIC PRESSURE	PT R	PLASTER TRAP REGISTER		
I.T. IW	EXPANSION TANK EYE WASH	R.A.	RETURN AIR		
WC	ELECTRIC WATER COOLER	RAD. R.D.	RADIUS/RADIATION/RADIATOR ROOF DRAIN		
.W.T. XH	ENTERING WATER TEMP. EXHAUST	RECIRC.	RECIRCULATING		
XIST. XT.	EXISTING EXTERIOR	REG. REINF.	REGISTER REINFORCED		
	EXTERIOR FAN	REL.	RELIEF		
D	FIRE FLOOR DRAIN	REQ'D. RH	REQUIRED RIGHT HAND		
.D.	FIRE DAMPER	RHC	REHEAT COIL		
.E. .E.C.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	RM. RPM	ROOM REVOLUTIONS PER MINUTE		
S.E.C.	FOOD SERVICE EQUIPMENT CONTRACTOR	RWC RW	RAINWATER CONDUCTOR RAW WATER		
.H. .H.C.	FIRE HYDRANT FIRE HOSE CABINET	R/W	RIGHT OF WAY		
.H.E.C.	FIRE HOSE/EXTINGUISHER CABINET	S. S.A.	SINK SHOCK ABSORBER		
IG. IN.	FIGURE FINISH	S.A.	SUPPLY AIR		
IN. RAD.	FINNED RADIATION	SAN. SB	SANITARY SEWER SHAMPOO BOWL		
LEX. LR./FL.	FLEXIBLE FLOOR	SD	SMOKE DETECTOR		
PM & T	FEET PER MINUTE FLOAT & THERMOSTATIC	SD S. DPR.	SHOWER DRAIN SMOKE DAMPER		
T.	FEET	SECT.	SECTION		
T. HD. OR	FEET OF HEAD FUEL OIL RETURN	S.F. SHR.	SQUARE FEET SHOWER		
OS	FUEL OIL SUPPLY	SHT.	SHEET SHEET METAL		
PC URN.	FIRE PROTECTION CONTRACTOR FURNISH(ED)	S.M., S/M	SHEET METAL		
WININ.	FLUSH VALVE	S.P.	STATIC PRESSURE		

ELECTRICAL SYMBOLS 1. ALL SYMBOLS NOT NECESSARILY USED. 2. MOUNTING HEIGHT (M.H.) IS TO CENTERLINE OF DEVICE. 3. MOUNTING HEIGHT ON PLAN SUPERSEDES THIS SCHEDULE. A. RTD: REFER TO DRAWING. ADJUST MOUNTING HEIGHTS OF DEVICES WHICH PROTRUDE MORE THAN 4" INTO CORRIDORS AND WALKWAYS AS NECESSARY TO MEET A.D.A. CLEARANCE REQUIREMENTS. SYMBOL M.H. SYMBOL FACP FIRE ALARM CONTROL PANEL TOP @ 60" SURFACE MOUNTED LIGHTING FIXTURE RECESSED MOUNTED LIGHTING FIXTURE FAAP FIRE ALARM ANNUNCIATOR TOP @ 60" LIGHTING ON EMERGENCY CIRCUIT EMERGENCY GENERATOR ANNUNCIATOR TOP @ 48" CEILING MOUNTED FIXTURE AUDIO/VISUAL ALARM BELL LIGHTING ON EMERGENCY CIRCUIT VISUAL ALARM STROBE WALL MOUNTED FIXTURE DUCT SMOKE DETECTOR SINGLE FACE EXIT LIGHT W/DIRECTION ARROW CEILING SMOKE DETECTOR DOUBLE FACE EXIT LIGHT W/DIRECTION ARROWS CEILING SMOKE DETECTOR W/ SOUNDER BASE \$ \$₃ \$₄ \$_K\$_P SWITCH, 3-WAY, 4-WAY, KEY, PILOT MAGNETIC DOOR HOLD-OPEN DEVICE RTD SWITCH, LOW VOLTAGE PUSHBUTTON SWITCH WATER FLOW SWITCH SWITCHED LOADS, WIRING & CONDUIT SUPERVISORY SWITCH PUSHBUTTON SWITCH PS PRESSURE SWITCH WALL DIMMER, 3-WAY TAMPER SWITCH FIRE ALARM SYSTEM CONDUIT LOW VOLTAGE WALL DIMMER TV TV OUTLET SINGLE RECEPT. CLOCK OUTLET LIGHT OR DEVICE ON EMERG. CIRCUIT → FLOOR RECEPT.; FLOOR TELEPHONE OUTLET Ю CLOCK CLOCK SYSTEM CONDUIT CLOCK SYSTEM CONDUIT TELEPHONE OUTLET \square_{M} INTERCOM MASTER TELEPHONE/DATA OUTLET INTERCOM STAFF STATION DATA OUTLET REMOTE INTERCOM T — T — TELEPHONE CONDUIT INTERCOM SYSTEM CONDUIT (S) CEILING SPEAKER SPECIAL POWER OUTLET s TRUMPET SPEAKER 0 SINGLE-PHASE MOTOR CEILING SOUND REINFORCEMENT SPEAKER **/©**/ THREE-PHASE MOTOR WALL SOUND REINFORCEMENT SPEAKER 80" MAGNETIC STARTER VOLUME CONTROL COMBINATION STARTER/DISCONNECT SWITCH HORN SPEAKER 마 NON-FUSED DISCONNECT SWITCH MICROPHONE JACK FJ LPN FUSED DISCONNECT SWITCH (30A FUSES) В LV SPEED CONTROLLER LOW VOLTAGE TRANSFORMER ELECTRIC THERMOSTAT SOUND SYSTEM CONDUIT T **---** s **---**PO PANELBOARD TOP @ 72" PROGRAM BELL WIRING ABOVE CEILING OR IN JOIST SPACE WEATHERPROOF --- WIRING UNDER FLOOR OR IN WALL A-1/3 HOME RUN TO PANEL "A", 2-POLE BRKR. GROUND FAULT INTERRUPTER 1 2 BEDSIDE STATION (SINGLE, DUAL) EMERGENCY CIRCUIT EMERGENCY, STAFF STATIONS MANUAL FIRE ALARM PULL STATION н⊲ NURSE'S CALL ANNUNCIATOR AUDIO ALARM HORN CEILING SMOKE DET. W/ SOUNDER BASE NURSE'S CALL SYSTEM CONDUIT ⊠⊲ AUDIO/VISUAL ALARM HORN/STROBE 80" $\bigoplus_{EX} \$_{EX}$ EXISTING LIGHT, DEVICE OR SWITCH ⋈ AUDIO/VISUAL ALARM SPEAKER/STROBE 80" $\$_R \ \bigoplus_R \ RELOCATED EXISTING DEVICE$ ВО AUDIO ALARM BELL 80" — - — EXISTING WIRING TO REMAIN ____ ITEM TO BE REMOVED CONTACTOR "C1" TC SECURITY MOTION DETECTOR TIME CLOCK SECURITY DOOR SWITCH BLANK OUTLET BOX B

ELECTRIC LOCK

-B- ALARM STROBE/BEACON

CR CARD READER

CCTV CAMERA

REMOTE DOOR RELEASE

ISOLATED GROUND RECEPTACLE

CONNECT TO EXISTING SECURITY GLASS BREAK

os vs occupancy/vacancy sensor (wall)

S S OCCUPANCY/VACANCY SENSOR (CEILING)

SECURITY SIREN

VS D DIMMING VACANCY SENSOR

HA AUXILIARY WALL PANEL

⊢®

ELECTRICAL GENERAL NOTES (APPLIES TO ALL SHEETS)

- A. ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL DIVISION 26 AND 27 EQUIPMENT AND DEVICES WITH CEILINGS, SOFFITS, DIFFUSERS, GRILLES, REGISTERS, STRUCTURAL MEMBERS, JOISTS, BRACING, PIPING, DUCTWORK, HANGERS, AND MECHANICAL EQUIPMENT, ETC.
- B. PROVIDE FIRE CAULK AT ALL PENETRATIONS THROUGH RATED WALLS. ALL PENETRATIONS THROUGH FIRE-RATED PARTITIONS SHALL BE COMPLETELY SEALED AS PER SPECIFICATIONS, ASSOCIATED DETAILS, OR AN APPROVED UL-LISTED
- SYSTEM. SEE ARCHITECTURAL DRAWINGS FOR IDENTIFICATION DETAILS. C. ALL NEW ELECTRICAL WORK SHALL BE CONCEALED FROM VIEW (IN FINISHED AREAS). ANY CONDUIT THAT MUST BE VISIBLE
- SHALL BE COORDINATED AND APPROVED BY ARCHITECT PRIOR TO ROUGH-IN.
- D. ALL BRANCH CIRCUIT WIRING SHALL BE RUN ABOVE CEILING OR IN WALL. NO UNDERFLOOR CONDUIT IS PERMITTED, UNLESS NOTED OTHERWISE.
- E. ALL 20 AMP, 120 VOLT, SINGLE PHASE BRANCH CIRCUIT WIRING SHALL BE 2-#12 CU, 1-#12 CU GRD. IN 3/4" CONDUIT UNLESS NOTED OTHERWISE. CONTRACTOR SHALL UPSIZE WIRE ACCORDINGLY FOR 3% VOLTAGE DROP MAXIMUM WHERE
- NECESSARY. F. MAKE ALL FINAL CONNECTIONS TO ALL EQUIPMENT (INCLUDING EQUIPMENT PROVIDED BY OTHERS) FOR COMPLETE, FULLY OPERATING SYSTEM.
- G. DISCONNECT AND REMOVE ALL EXISTING WIRING AND CONDUIT NO LONGER BEING USED.
- H. ALL LOW VOLTAGE CABLING IN PLENUM RATED CEILINGS SHALL BE RATED FOR USE IN PLENUM RATED ASSEMBLIES.

ELECTRICAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

DEER HAVEN PARK SITE ELECTRIC IMPROVEMENTS 4183 LIBERTY ROAD

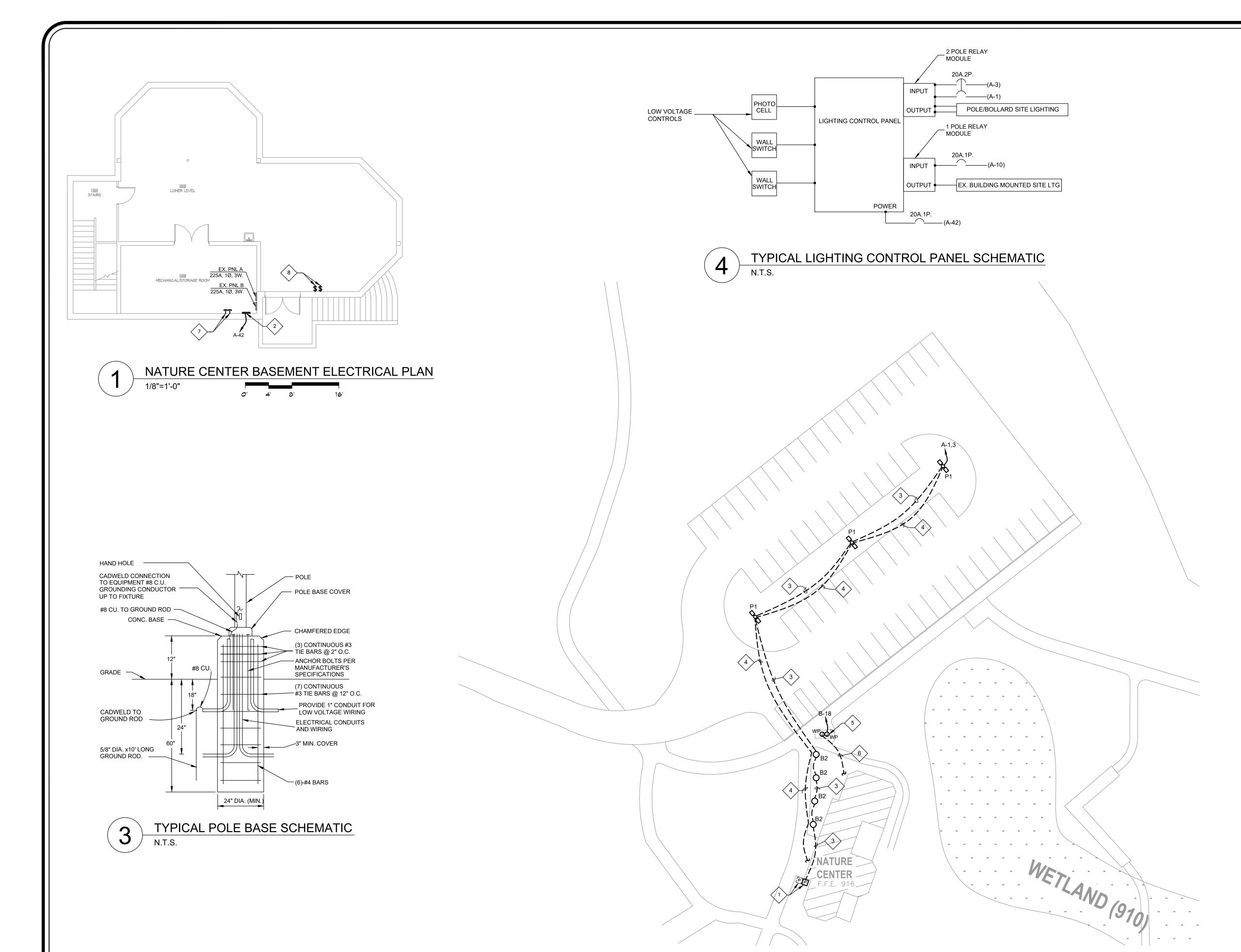
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ROGER D. FIELDS ASSOCIATES, INC. 4588 Kenny Road Columbus, Ohio 43220 (614) 451-2248 www.rdfa.com Designer: LH Project #: 24002





ELECTRICAL SITE PLAN

0' 15' 30'

ELECTRICAL CODED NOTES

- 1. EXISTING PHOTOCELL TO BE REMOVED. PROVIDE NEW PHOTOCELL THAT IS COMPATIBLE WITH NEW LIGHTING CONTROL PANEL IN SAME LOCATION.
- 2. PROVIDE LIGHTING CONTROL PANEL. COORDINATE EXACT LOCATION WITH PRESERVATION PARKS PRIOR TO INSTALLATION. LIGHTING CONTROL PANEL TO BE WATTSTOPPER LC8 PANEL OR APPROVED EQUAL BY LEVITON.
- 3. PROVIDE (2) #8, (1) #10 G., IN 1" C. REFER TO ARCHITECTURAL SHEET SD2 "SITE DEVELOPMENT AND STAKING PLAN" FOR EXACT ROUTING OF CONDUIT.
- 4. PROVIDE 1" C. WITH PULLWIRE FOR FUTURE SECURITY CAMERAS. REFER TO ARCHITECTURAL SHEET SD2 "SITE DEVELOPMENT AND STAKING PLAN" FOR EXACT ROUTING OF CONDUIT.
- 5. FOR FUTURE DIGITAL KIOSK. PROVIDE (2) #8, (1) #10 G., IN 1" C. SEE ARCHITECTURAL SHEET SD3 "ENLARGED KIOSK PLAN AND DETAILS" FOR EXACT WEATHERPROOF JUNCTION BOX LOCATION.
- 6. PROVIDE 1" CONDUIT WITH PULLWIRE FOR DATA FOR FUTURE DIGITAL KIOSK. TERMINATE IN WEATHERPROOF JUNCTION BOX MOUNTED TO EXISTING KIOSK. SEE ARCHITECTURAL SHEET SD3 "ENLARGED KIOSK PLAN AND DETAILS" FOR EXACT LOCATION.
- 7. LOCATION OF STUBBED 1" CONDUIT FOR DATA FOR FUTURE DIGITAL KIOSK AND FUTURE SECURITY CAMERAS.
- 8. PROVIDE (2) LOW VOLTAGE MANUAL OVERRIDE SWITCHES FOR EXTERIOR LIGHTING. ONE SWITCH TO CONTROL BOLLARDS AND POLE MOUNTED FIXTURES, ONE SWITCH TO CONTROL BUILDING MOUNTED LIGHTING. LOCATE SWITCHES ON FIRST FLOOR NEAR FRONT DESK / ADMIN AREA. COORDINATE EXACT LOCATION OF SWITCHES WITH PRESERVATION PARKS PRIOR TO INSTALLATION.

ELECTRICAL PLANS

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SITE ELECTRIC IMPROVEMENTS

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LIGHTING FIXTURE SCHEDULE

NOTE: FIXTURE NUMBER, LETTER PREFIX INDICATES TYPE OF MOUNTING AS FOLLOWS: CH-CHAIN HUNG; CL-CEILING MOUNTED; S-STEM SUSPENDED; W-WALL MOUNTED; R-CEILING RECESSED; WR-WALL RECESSED; CV-COVE MOUNTED; UC-UNDER CABINET; RF-ROOF MOUNTED; P-POST OR POLE; GR-GROUND MOUNTED; H-MOUNTED IN HOOD; B -BOLLARD

				·		
FIXTURE	MANUFACTURER	CATALOG NO./MODEL NO.	WATTAGE/TYPE	COLOR TEMP/LUMENS	FINISH	DESCRIPTION
TYPE	IVII AVOITAGI CICER	O/II/ EOO IVO/IVIODEE IVO.	VV/(III/(OE)/III/E	OCEON TEIM TEOMETRO	1 1111011	DEGOTAL HOLV
P1		RD1 LED P4 30K ASY MVOLT RPA DBLXD RSS 25 4B DM28RAD DBLXD	85.7W/LED	3000K/11000L	BLACK	DARK SKY COMPLIANT LED POLE MOUNTED FIXTURE MOUNTED WITH A DOUBLE CONFIGURATION AT 25FT
	INTRIGUE LIGHTING OR EQUAL BY VISIONAIRE LIGHTING, FC OUTDOOR LIGHTING, OR KIM LIGHTING	AR 6 B 21LED 3K D 180HSS UNV 42 BLK	41.2W/LED	3000K/2006L	BLACK	DARK SKY COMPLIANT LED BOLLARD FIXTURE WITH DOME TOP AND HOUSE SIDE SHIELD.

		EX. Panel:	Α										
		Location	: MECHA	NICAL/ST	ORAGE R	OOM	Volts:	240/120			Surge Protection Device	e: NO	
		Supply From	: POWER	CO. XFM	R		Phases:	1			Main Typ	e: MCB	
			: SURFAC				Wires:	3			Mains Ratin		
		Enclosure				A10	C. Rating:				MCB Ratin		
-		Liciosure				7	z. reating.	10,000			mod ratii	ig. 200	
СКТ	Note	LOAD	CB/P	TYPE	А		Е	i.	TYPE	CB/P	LOAD	Note	скт
1		POLE MOUNTED / BOLLARD SITE LTG	20/2	L	0.34					50/2	ELECTRIC HEAT PUMP		2
3		-	-	L			0.34			<u> </u>			4
5		DRYER	30/2							25/2	CONDENSING UNIT		6
7			2							8			8
9		LIGHTING	20/1							20/1	OUTSIDE LIGHTS		10
11	3	RESTROOM LIGHTING	20/1							20/1	TRACK LIGHTING		12
13		LIGHTING	20/1							20/1	LIBRARY LIGHTING		14
15		LOWER LEVEL LIGHTS	20/1							20/1	MECHANICAL/STORAGE LIGHTING		16
17		SUMP PUMP	20/1							20/1	EFFLUENT PUMP		18
19		RECEPTACLES	20/1							20/1	WATER HEATER		20
21		SMOKE DUCT	20/1							20/1	RECEPTACLES		22
23		RECEPTACLES	20/1							20/1	WATER COOLER		24
25		KITCHEN RECEPTACLES	20/1							20/1	KITCHEN RECEPTACLES		26
27		RESTROOM RECEPTACLES	20/1							20/1	VIEWING RECEPTACLES		28
29		EXTERIOR RECEPTA CLES	20/1							20/1	MICROWAVE		30
31		COPIER	20/1							20/1	SENSOR FAUCET		32
33		EHD-1	20/1							20/1	EHD-1		34
35		WATER HEATER	20/1							20/1	WATER HEATER		36
37		COMPUTER	20/1							20/1	COMPUTER		38
39		BASEMENT DUCT DETECTOR	20/1							20/1	EXISTING LOAD.		40
41		WASHER	20/1			0.10			E	20/1	LIGHTING CONTROL PANEL		42
			К	ilow atts:	0.4	4	0.3	4			*.		10:

		EX. Pai	nel: B								
		Lo	ocation: MECHA	NICAL/ST	ORAGE ROOM	Volts: 240/120			Surge Protection Device	e: NO	
		Suppl	y From: POWER	CO. XFM	R	Phases: 1			Main Typ	e: MCB	
		Mo	ounting: SURFAC	CE		Wires: 3			Mains Ratin	g: 250	
			losure: NEMA1		4	.I.C. Rating: 10,000			MCB Ratin	0.0000000000000000000000000000000000000	
скт	Note	LOAD	СВ/Р	TYPE	А	В	TYPE	CB/P	LOAD	Note	СКТ
1		GEO-THERMAL UNIT	80/2		0.25			50/2	SPARE		2
3		-	-					-			4
5		RECEPTACLES	20/1					60/2	GEO COMPRESSOR		6
7		OFFICE RECEPTACLES	20/1					-			8
9		LIGHTING	20/1					20/1	CEILING FANS		10
11		LIGHTING	20/1					20/1	OFFICE RECEPTACLES		12
13		DISHWASHER	20/1					20/2	BACK DOOR HEATER		14
15		DISPOSAL	20/1					-			16
17		OFFICE RECEPTA CLES	20/1					20/1	J BOX FOR FUTURE DIGITAL KIOSK		18
19		OFFICE RECEPTA CLES	20/1					20/2	OFFICE SPLIT UNIT		20
21		OFFICE CAN LTG	20/1					¥			22
23		STOVE	20/2					30/2	WATER HEATER		24
25			-					2			26
27		BIRD SANCTUARY	50/2					50/2	SEWAGE LIFT PUMP		28
29											30

ELECTRICAL	SCHEDULES
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DEER HAVEN PARK
SITE ELECTRIC IMPROVEMENTS

4183 LIBERTY ROAD DELAWARE, OH 43015

PREPARED FOR:
PRESERVATION PARKS OF DELAWARE COUNTY
2656 HOGBACK ROAD
SUNBURY, OHIO 43074

schorr archi	<u>tects</u>	230 Bradenton Ave. Dublin, OH 43017 (614)798-2096
BID: 07.22.2024		

COMM. NO.: 2406

ELECTRICAL GENERAL NOTES AND SPECIFICATIONS

26 00 00 ELECTRICAL SPECIFICATIONS

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, TO INCLUDE THE STATE BUILDING CODE AND THE NATIONAL ELECTRICAL CODE.
- ALL WORK SHALL BE DEDECORNED BY LICENSED CONTRACTORS AS DECLIDED BY LOCAL AND STATE CODES
- ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS AS REQUIRED BY LOCAL AND STATE CODES.
 ALL EQUIPMENT AND APPLIANCES INSTALLED ON THIS PROJECT SHALL BEAR THE LABEL OF AN APPROVED

TESTING AGENCY, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.

- 4. THIS CONTRACTOR SHALL ARRANGE FOR AND CONDUCT ALL INSPECTIONS, TESTS, AND APPROVALS OF ITS WORK AND SHALL BEAR ALL COST FOR SAME. INSPECTIONS SHALL BE PERFORMED BY AUTHORITY HAVING JURISDICTION.
- 5. ARCHITECT/ENGINEER SHALL SUBMIT DOCUMENTS FOR PLAN APPROVAL AND PAY COST TO SECURE PLAN APPROVAL. CONTRACTOR SHALL PAY FOR ANY ADDITIONAL PERMITS AND FEES.
- 6. PROTECT ALL EQUIPMENT AND MATERIAL DURING CONSTRUCTION FROM DAMAGE BY WEATHER, WATER, DIRT, AND OTHER CONSTRUCTION ACTIVITIES.
- 7. SUBMIT SHOP DRAWINGS FOR REVIEW BY ARCHITECT/ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS EARLY ENOUGH IN PROJECT TO ALLOW AMPLE TIME FOR REVIEW WITHOUT CAUSING TIME DELAYS OR CONFLICTS IN THE JOB PROGRESS. SUBMITTALS SHALL BE IN ACCORDANCE WITH GENERAL CONDITIONS AND THE MANUFACTURERS LISTED ON THE DRAWINGS. SUBMITTALS SHALL BEAR THE STAMP OF THE CONTRACTOR SHOWING THAT IT IS REVIEWED AND APPROVED BY THEM AND THAT THEY ARE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. LACK OF SUCH CONTRACTOR APPROVAL WILL BE CAUSE FOR REJECTION WITHOUT REVIEW BY THE ARCHITECT/ENGINEER. WHERE TRADE NAMES, BRANDS OF MANUFACTURERS OF EQUIPMENT OR MATERIALS ARE SHOWN ON THE DRAWINGS OR SPECIFICATIONS THE EXACT EQUIPMENT SHALL BE USED ON THE PROJECT. THE USE OF ANY UNAUTHORIZED EQUIPMENT OR MATERIAL SHALL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE REQUEST OF THE OWNER. AT THE CONTRACTOR'S EXPENSE.
- 8. CHECK EACH NEW PIECE OF EQUIPMENT AND FIXTURES IN THE SYSTEM FOR DEFECTS, VERIFYING THAT ALL PARTS ARE PROPERLY FURNISHED AND INSTALLED, THAT ALL ITEMS FUNCTION PROPERLY, AND THAT ALL ADJUSTMENTS HAVE BEEN MADE.
- 9. ANY ROOF PATCHING IS TO BE DONE BY GENERAL CONTRACTOR.
- 10. CONTRACTOR MUST EXAMINE ALL AREAS AND CONDITIONS IN WHICH THE WORK IS TO BE DONE, AND NOTIFY THE ARCHITECT OF CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 11. MAINTAIN IN OPERATING CONDITION ALL ACTIVE BRANCH CIRCUITS DESIGNATED TO REMAIN. DOWNTIME MUST BE KEPT TO A MINIMUM. CONTRACTOR SHALL NOTIFY, AND OBTAIN APPROVAL FROM OWNER FOR ANY OUTAGES REQUIRED FOR THIS WORK.
- 12. CONTRACTOR SHALL LIMIT ITS ACTIVITIES TO AREAS OF THE BUILDING THAT ARE BEING RENOVATED. BUILDING ACCESS, STORAGE OF MATERIALS, DELIVERIES, PARKING, ETC. SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF SAFETY GUIDELINES TO REDUCE THE RISK OF INJURIES. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF EXCESS MATERIALS AND CLEANING OF DEBRIS ON A DAILY BASIS, AND SHALL BEAR THE COST OF SAME.
- 14. WORK SHALL BE CARRIED OUT IN A NEAT AND WORKMANLIKE MANNER SO THAT IT DOES NOT DAMAGE THE BUILDING.
- BUILDING.
 15.MISCELLANEOUS ACCESSORIES:
- A. PROVIDE ANY ADAPTERS, FITTINGS, TRIM, AND OTHER APPURTENANCES AS NECESSARY TO SECURELY INSTALL ALL ITEMS OF EQUIPMENT SPECIFIED OR SHOWN ON THE DRAWINGS.
- B. THESE ACCESSORIES ARE REQUIRED EVEN THOUGH THEY MAY NOT BE SHOWN OR DETAILED ON THE DRAWINGS.
- C. INSTALLATION SHALL BE COMPATIBLE WITH THE BUILDING CONSTRUCTION ON WHICH THE ITEM IS TO BE
- D. VERIFY THE TYPE OF CONSTRUCTION PRIOR TO ORDERING THE EQUIPMENT ITEM, SO THAT ALL REQUIRED ACCESSORIES ARE INCLUDED.
- 16. INSTALL EQUIPMENT FOR EASY DISCONNECTION AND REPLACEMENT TO FACILITATE SERVICE, MAINTENANCE, REPAIR, REPLACEMENT OF COMPONENTS AND ELIMINATE INTERFERENCE WITH OTHER INSTALLATIONS.
- 17. CONTRACTOR SHALL CLEAN UP CONSTRUCTION DEBRIS RESULTING FROM CONTRACTOR'S WORK AS WELL AS ALL WORK AREAS AFFECTED BY CONTRACTOR'S WORK.
- 18. UPON COMPLETION OF WORK, ALL MATERIAL AND EQUIPMENT SHALL BE THOROUGHLY CLEANED OF STICKERS, DIRT, GREASE, RUST, OIL, AND OTHER FOREIGN MATTER.
 19. PROVIDE ELECTRONIC COPIES OF REVIEWED SHOP DRAWINGS OF EACH EQUIPMENT ITEM TO OWNER. PROVIDE
- MARKED-UP RECORD DRAWINGS SHOWING ANY DEVIATIONS IN LOCATION OF EQUIPMENT. RECORD ADDENDUM AND CHANGE ORDER ITEMS. AT COMPLETION OF PROJECT DELIVER RECORD DRAWINGS AND ONE (1) BOUND 8-1/2"x11" OPERATING AND MAINTENANCE MANUAL TO ARCHITECT FOR REVIEW. PROVIDE OPERATING AND MAINTENANCE MANUAL IN PHYSICAL FORMAT AND A COPY ON A UNIVERSAL SERIAL BUS (USB) FLASH DRIVE.
- 20.REQUIREMENTS FOR COMPLETION OF WORK: FOR SUBSTANTIAL COMPLETION, PROVIDE ALL REQUIRED OPERATING TESTS, OPERATING AND MAINTENANCE MANUALS, INSTRUCTION OF OWNER'S PERSONNEL IN
- OPERATION OF ALL SYSTEMS, SPARE PARTS, AND SPECIAL TOOLS.

 21.PROVIDE (1) FULL YEAR GUARANTEE FROM DATE OF FINAL COMPLETION ON ALL EQUIPMENT AND WORK PERFORMED, INCLUDING ANY EXISTING SYSTEM THAT IS RE-USED. CONTRACTOR SHALL WARRANT THAT THE WORK HAS BEEN COMPLETED IN COMPLIANCE WITH ESTABLISHED CODES AND REGULATIONS. CERTIFICATE SHALL

26 05 00 COMMON WORK RESULTS FOR ELECTRICAL

BE GIVEN TO OWNER AT PROJECT COMPLETION

- 1. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING. BIDS SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS. ALL REQUIREMENTS INCLUDING MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS ARE TO BE OBTAINED BY ELECTRICAL CONTRACTOR PRIOR TO AND INCLUDED IN BID PRICE. FIELD VERIFY ALL EXISTING ELECTRICAL AND TELEPHONE EQUIPMENT, LOCATIONS, CONDITIONS, ETC. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE THE CONTRACTOR FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE ELECTRICAL WORK.
- BRIEF SUMMARY OF WORK: FURNISH MATERIAL, LABOR, TOOLS, ACCESSORIES, AND EQUIPMENT TO COMPLETE AND LEAVE READY FOR OPERATION ALL SYSTEMS OF THIS PROJECT AS DESCRIBED IN THESE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
- THE INSTALLATION SHALL BE COMPLETE IN EVERY RESPECT PROVIDING ALL LABOR AND MATERIALS.
 THE REQUIREMENTS AS SET FORTH UNDER GENERAL CONDITIONS, INSTRUCTIONS TO BIDDERS AND GENERAL REQUIREMENTS ARE A PART OF THIS CONTRACT.
- 5. BIDS SHALL BE BASED ON A COMPLETE/FULL SET OF DRAWINGS.
- 6. CONTRACTOR MUST READ THE ENTIRE SPECIFICATIONS COVERING OTHER BRANCHES OF WORK AND IS RESPONSIBLE FOR COORDINATION OF THE WORK WITH WORK PERFORMED BY OTHER TRADES
- 7. FURNISH ALL LABOR, MATERIALS, TESTING, EQUIPMENT, INCIDENTALS AND TOOLS TO PERFORM ELECTRICAL WORK SHOWN, NOTED OR SCHEDULED FOR A COMPLETE AND FINISHED INSTALLATION.
- 8. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND AS SUCH APPEAR ON THE UNDERWRITERS LABORATORIES LIST OF APPROVED ITEMS AND SHALL BE SIZED IN CONFORMITY WITH REQUIREMENTS OF THE 2023 NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES, WHICHEVER
- 9. INCLUDE ANY LABOR AND MATERIALS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIVE ELECTRICAL SYSTEMS.
- 10. PROVIDE ALL DIRECTIONAL BORING OR EXCAVATION AND BACKFILL REQUIRED FOR INSTALLATION OF ELECTRICAL WORK, IF ANY. CONTRACTOR SHALL COORDINATE ROUTING AND LOCATE AND TOUCH EACH EXISTING UTILITY BEFORE ANY EXCAVATION WORK IS BEGUN. TRENCHES FOR BURIAL OF ELECTRICAL CONDUITS SHALL BE OF SUFFICIENT DEPTH, SUCH THAT TOP OF HIGHEST CONDUIT IS NOT LESS THAN 24" BELOW FINISHED GRADE. NO LARGE ROCKS (OVER 2") OR OTHER DEBRIS THAT WOULD DAMAGE THE CONDUITS WILL BE PERMITTED. PLACE NO BACKFILL UNTIL UNDERGROUND CIRCUITS HAVE BEEN TESTED. COMPACT BACKFILL IN 6" DEEP LAYERS. PROVIDE SETON 6" WIDE RED METALLIC UNDERGROUND WARNING/DETECTION TAPE DETECTABLE WITH METAL DETECTOR FOR BURIED ELECTRIC LINE BELOW. INSTALL DETECTABLE WARNING TAPE 12" (MIN.) ABOVE UNDERGROUND INSTALLATION. PROVIDE SEED GRASS COVER TO RESTORE LANDSCAPE TO ORIGINAL CONDITION.
- 11.PROVIDE ROUGH-IN BOXES, WIRING, CONDUIT, AND FINAL CONNECTION FOR ALL ITEMS OF EQUIPMENT REQUIRING ELECTRICAL POWER. COORDINATE WITH EQUIPMENT SUPPLIERS AND OTHER CONTRACTORS REGARDING ROUGH-IN AND FINAL CONNECTIONS REQUIREMENTS, SUCH AS MOUNTING HEIGHT, PLUG-RECEPTACLE CONFIGURATIONS, WIRE AND BREAKER SIZE, AND SPECIAL GROUNDING.
- 12. ALL ELECTRICAL ITEMS SHOWN DASHED ARE TO BE DISCONNECTED AND REMOVED, INCLUDING WIRING AND CONDUIT, ALL THE WAY BACK TO THE SOURCE, EXCEPT AS OTHERWISE INDICATED.
- 13.CUTTING AND PATCHING: GENERAL TRADES CONTRACTOR SHALL PATCH FLOORS AND WALLS IN AREAS OF REMOVED WIRING. COORDINATE LOCATION OF CORE-DRILLING OF WALLS AND FLOORS WITH OTHER CONTRACTORS AND EQUIPMENT. GENERAL TRADES CONTRACTOR SHALL SAW-CUT EXISTING FLOOR SLAB AND PATCH FLOOR FOR NEW UNDERFLOOR CONDUITS. PROVIDE ALL OTHER CUTTING AND PATCHING REQUIRED FOR WORK. PATCH TO MATCH ADJACENT SURFACES. GENERAL TRADES CONTRACTOR SHALL PROVIDE PAINTING.
- 14. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO THE WORK OF OTHER CONTRACTORS, OR THE BUILDING, OR ITS CONTENTS, PEOPLE, ETC; CAUSED BY ANY EQUIPMENT INSTALLED OR REUSED THROUGH EQUIPMENT FAILURE AND SHALL MAKE, AT ITS OWN EXPENSE, ALL REPAIRS TO MERCHANDISE, FIXTURES AND FOUIPMENT SO DAMAGED.
- 15. ALL ELECTRIC WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING AND REPAIRING. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL INSTALLATION OF WORK AND SHALL BE FASTENED TO BUILDING STEEL, CONCRETE OR MASONRY, BUT NOT PIPING OR DUCTWORK. ALL CONDUIT SHALL BE CONCEALED WHEREVER POSSIBLE. EXPOSED CONDUITS SHALL BE IN STRAIGHT LINES PARALLEL WITH OR AT RIGHT ANGLES TO COLUMN LINES OR BEAMS AND SEPARATED AT LEAST 3 INCHES FROM WATER LINES WHEREVER THEY RUN ALONGSIDE OR ACROSS SUCH LINES. ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT, OR OTHER CODE APPROVED RACEWAYS.
- 16. ALL LINE AND LOW VOLTAGE POWER AND CONTROL WIRING SHALL BE PROVIDED BY THE ELECTRICAL
- 17. SLEEVES SHALL EXTEND AT LEAST TWO (2") INCHES ABOVE FINISHED FLOOR AND ALL SLEEVES, OPENINGS, ETC., THROUGH FIRE RATED WALLS AND FLOORS SHALL BE FIRE SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE RATED SEALANTS OR EQUAL BY HILTI AFTER CONDUIT/CABLES INSTALLATION SO AS TO RETAIN THE FIRE RATING. PATCHES SHALL MATCH ADJACENT SURFACES.
- 18. THE LOCATION OF OUTLETS AND EQUIPMENT SHOWN ON THE DRAWINGS ARE APPROXIMATE AND THE ARCHITECT/OWNER/CONSTRUCTION MANAGER SHALL HAVE THE RIGHT TO RELOCATE ANY OUTLETS, EQUIPMENT,

- OR FIXTURES BEFORE THEY ARE INSTALLED WITHOUT ADDITIONAL COST. COORDINATE DEVICE LOCATIONS.
- 24.FURNISH APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF
- 25.GENERAL TRADES CONTRACTOR SHALL PROVIDE CONCRETE PADS AND BASES. COORDINATE PLACEMENT OF CONDUITS AND ANCHOR BOLTS WITH THE GENERAL TRADES CONTRACTOR.

26 05 05 SELECTIVE DEMOLITION FOR ELECTRICAL

- 1. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY/ALL NECESSARY ELECTRICAL DEMOLITION WORK THAT IS REQUIRED TO FACILITATE THE NEW INSTALLATION, FIELD COORDINATE PRIOR TO BIDS. REMOVE AND/OR MODIFY EXISTING EQUIPMENT, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION. ANY EQUIPMENT OR DEVICE REMAINING IN USE AFTER PART OF THE EQUIPMENT OR DEVICES HAVE BEEN REMOVED ARE TO BE RECONNECTED TO EXISTING OR NEW CIRCUITS AND LEFT IN WORKING ORDER. FEEDERS TO PANELS AND WIRING TO OTHER EQUIPMENT TO BE ROUTED CONCEALED IN FINISHED AREAS. CONTRACTOR SHALL NOTIFY, AND OBTAIN APPROVAL FROM OWNER FOR ANY OUTAGES REQUIRED FOR THIS WORK.
- 2. DURING THE COURSE OF WORK, IF ANY ASBESTOS IS ENCOUNTERED, CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK ASSOCIATED THEREWITH AND IMMEDIATELY NOTIFY THE A/E AND OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY MATERIAL SUSPECTED OF, OR IDENTIFIED AS, CONTAINING ASBESTOS. OWNER SHALL REMOVE OR SEAL SUCH MATERIALS PRIOR TO ANY WORK UNDER THIS CONTRACT.
- 3. DISCONNECT AND REMOVE ALL EXISTING CONDUITS AND RACEWAYS NO LONGER BEING USED WHETHER SHOWN ON THE DRAWING OR NOT.

26 05 19 LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES

- 1. WIRE SHALL BE SINGLE CONDUCTOR COPPER WITH 600 VOLT INSULATION. MINIMUM WIRE SIZE SHALL BE #12 AWG, ALL WIRE AND CABLE SHALL BE NEW AND SHALL BE BROUGHT TO THE SITE IN UNBROKEN PACKAGES. ALL WIRING OF ANY TYPE SHALL BE IN CONDUIT. NO STRANDED WIRE ALLOWED FOR #10 AND #12 AWG SIZES. (INCREASE CONDUCTOR BY ONE SIZE FOR EVERY 150' INCREMENT OF DISTANCE FROM THE PANELBOARD FOR 120 VOLT
- 2. THE USE OF MC, AC, OR NM (ROMEX) TYPE CABLE IS PERMITTED.
- 3. GENERAL WIRING SHALL BE RATED AT 600V AND BE XHHW, TWHN OR THHN. (ALUMINUM CONDUCTORS ARE NOT PERMITTED.) AS MANUFACTURED BY SERVICE WIRE, CERROWIRE, HOUSTON WIRE AND CABLE, ENCORE WIRE, SOUTHWIRE, OMNI CABLE, OR SUPERIOR ESSEX.
- 4. WIRE CONNECTORS SHALL BE EQUAL TO SCOTCHLOK FOR #8 AND SMALLER, AND EQUAL TO T & B "LOCK-TITE" FOR #6 AND LARGER. EQUAL BY POLARIS, ILSCO, ARLINGTON INDUSTRIES, OR BUCHANAN.
- 5. ALL WIRING TO BE COLOR CODED AS FOLLOWS:
- 120/240 VOLT SYSTEM
- NEUTRAL-WHITE
- PHASE A OR L1-BLACK
- PHASE B OR L2-RED GROUND-GREEN
- 6. OPTION: MULTICONDUCTOR CABLE. UNLESS OTHERWISE EXCLUDED, THE FOLLOWING OPTION MAY BE USED IN LIEU OF WIRE AND CONDUIT ONLY WHERE CONCEALED AND WHERE PERMITTED BY AHJ.
- A. TYPE MC COPPER CONDUCTORS, 90 EGREES C., INSULATED GREEN GROUNDING CONDUCTOR INSTALLED IN ACCORDANCE WITH NEC ARTICLE 330. INTERLOCKED ALUMINUM METAL SHEATH SHALL BE IDENTIFIED AS SUITABLE FOR GROUND RETURN PATH.

26 05 26 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS

- 8. FURNISH AND INSTALL A COMPLETE WIRED GROUNDING SYSTEM FOR ELECTRICAL EQUIPMENT AND CIRCUITS AS SHOWN ON THE DRAWINGS. ALL GROUNDING PROVIDED SHALL BE ACCORDING TO NEC ARTICLE 250 AND AS DESCRIBED BELOW.
- 9. ALL ENCLOSURES AND NON-CURRENT CARRYING METALS TO BE GROUNDED. CONDUIT SYSTEM TO BE ELECTRICALLY CONTINUOUS. ALL LOCK NUTS MUST CUT THROUGH ENAMELED OR PAINTED SURFACES ON ENCLOSURES. WHERE ENCLOSURES AND NON-CURRENT CARRYING METALS ARE ISOLATED FROM THE CONDUIT SYSTEM, USE BONDING JUMPERS WITH APPROVED CLAMPS.
- 10. ALL GROUNDING CONDUCTORS SHALL BE GREEN, WHERE EXPOSED IN PANEL, SWITCHBOARD, OUTLET, BOXES, ETC.
- 11.RUN A SEPARATE GROUNDING CONDUCTOR IN EACH CONDUIT, #12 MINIMUM, OR AS SHOWN ON DRAWINGS. FOR BRANCH CIRCUITS AND PANEL FEEDERS BOND THE GROUNDING CONDUCTOR TO THE CONDUIT, WHERE ENTERING AND LEAVING THE CONDUIT. ALL GROUND CLAMPS SHALL BE PENN-UNION OR EQUAL, SIMILAR TO "GPL" TYPE. CONDUIT GROUND BUSHINGS SHALL BE THOMAS & BETTS OR EQUAL, SIMILAR TO #3800 SERIES WITH NYLON INSULATED THROAT.
- 12. ALL DEVICES SHALL BE BONDED TO THE CONDUIT SYSTEM. USE A BONDING JUMPER BETWEEN THE OUTLET BOX AND THE DEVICE GROUNDING TERMINAL. METAL-TO-METAL CONTACT BETWEEN THE DEVICE YOKE AND THE OUTLET BOX IS NOT ACCEPTABLE AS A BOND FOR EITHER SURFACE MOUNTED BOXES OR FLUSH TYPE BOXES. ALL JUNCTION BOXES, OUTLET BOXES AND PULL BOXES SHALL BE BONDED TO THE CONDUIT SYSTEM. ALL FLEXIBLE CONDUIT SHALL BE JUMPERED WITH A GROUND CONDUCTOR.

26 05 33 RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS

- 1. MINIMUM SIZES OF CONDUITS SHALL BE 3/4" FOR STANDARD CONDUIT, 1" FOR SITE CONDUIT, AND 1/2" FOR FLEX CONDUIT AND LOW VOLTAGE WIRING. ELECTRIC METALLIC TUBING (EMT) SHALL BE GALVANIZED OR ELECTRO-GALVANIZED. FITTINGS SHALL BE SET SCREW OR COMPRESSION TYPE, FITTING SHALL BE AS MANUFACTURED BY REGEL, STEEL CITY, RACO, T & B, EFCOR OR EQUAL.
- 2. OUTLET BOXES AND COVERS SHALL BE GALVANIZED, ONE-PIECE PRESSED STEEL KNOCKOUT.
- 3. JUNCTION, PULL BOXES AND COVERS SHALL BE GALVANIZED STEEL, CODE GAUGE SIZE.
- 4. WIREWAYS SHALL BE RIGID, HEAVY-GAUGE, STEEL WITH HINGED/SCREW-ON COVERS AND BAKED ENAMEL FINISH. SQUARE D. HOFFMAN, NIEDAX, HAMMOND, OR WIEGMAN. PROVIDE SIZE AS INDICATED ON THE DRAWINGS.
- 5. GRADE MOUNTED PULL BOXES SHALL BE WATERTIGHT, OPEN BOTTOM, HEAVY DUTY GASKETED COVERS, TIER 15, SUITABLE FOR OCCASIONAL NON-DELIBERATE VEHICLE DRIVE OVER APPLICATION WITH LOGO, SIZED AS REQUIRED. QUAZITE, NET-TECH, SYNERTEC, OR HIGHLINE.
- 6. SHALLOW 1-1/2 IN. DEEP BOXES MAY BE USED ONLY IN WALLS TOO THIN FOR STANDARD DEPTH BOXES. BOXES FOR SURFACE CONDUIT WORK AND IN WET LOCATIONS SHALL BE FS SERIES. EXTERIOR EXPOSED BOXES SHALL BE WEATHERPROOF WITH GASKETS. PAINT ALL BOXES CONTAINING FIRE ALARM WIRING RED. APPLETON, RACO, STEEL CITY, THOMAS & BETTS, NATIONAL ELECTRIC, OR CROUSE HINDS.
- 7. CONDUIT SHALL BE STANDARD STEEL RIGID, IMC OR EMT (THIN WALL) ACCORDING TO LOCAL CODE. CONDUIT SHALL BE CONCEALED IN FINISHED AREAS, EXCEPT AS OTHERWISE APPROVED BY ARCHITECT. REPUBLIC, ALLIED, STEEL DUCT, SHAMROCK, OMEGA, WESTERN TUBES, WHEATLAND, OR LTV. EMT CONNECTIONS SHALL BE COMPRESSION OR SET SCREW TYPE.
- 8. PAINTING OF ELECTRICAL CONDUITS, ETC., IF REQUIRED, WILL BE BY GENERAL CONTRACTOR.
- 9. MAXIMUM CONDUIT HANGER SPACING SHALL BE 8'-0" FOR 3/4" THRU 1 1/4" AND 10'-0" FOR 1 1/2" THRU 4" CONDUITS. DO NOT SUPPORT CONDUIT FROM PIPING, DUCTWORK, OR CEILING SYSTEM.
- 10. LEAVE A #10 AWG PULL WIRE OR NYLON PULL STRING IN ALL EMPTY CONDUITS.
- 11.FLASH AND COUNTERFLASH ALL RACEWAYS WHICH PENETRATE THE ROOF OR USE PITCH POCKETS. INSURE THAT PENETRATIONS ARE COMPLETELY WEATHERPROOF. ALL RACEWAY SYSTEMS EXPOSED TO THE WEATHER SHALL BE WEATHERPROOF. PRIOR APPROVAL BY LANDLORD IS REQUIRED TO ADD ADDITIONAL EQUIPMENT LOADS TO STRUCTURE OR TO MAKE HOLES IN EXISTING ROOF. NOTIFY LANDLORD'S ROOFING CONTRACTOR AT LEAST 72 HOURS PRIOR TO ANY REQUIRED ROOF WORK.
- 12.1-1/2 IN. OR LARGER INTERIOR AND EXPOSED CONDUITS INSTALLED WITHIN 8 FT. OF FINISHED FLOOR MUST BE RIGID OR INTERMEDIATE. ALL OTHER CONDUITS SHALL BE EMT WITH INSULATED BUSHINGS AND THROAT FITTINGS 3/4" (MIN.). UNDERGROUND AND BELOW SLAB CONDUITS SHALL BE 1" (MIN.). SCHEDULE 40 PVC AND TERMINATE BELOW GRADE OR THE SLAB AND CONNECT TO RIGID STEEL OR INTERMEDIATE METAL RISER CONDUIT. CONDUITS EXPOSED OUTDOORS MUST BE RIGID STEEL.
- 13. CONTRACTOR SHALL USE APPROVED, UL-LISTED, FIRE-RETARDANT SEALANTS, BACKING, AND NEW PACKING AS REQUIRED TO MAINTAIN FIRE RATING OF THE STRUCTURE PENETRATED BY NEW CONDUITS, SPRAY UL-LISTED FOAM SEALANT AROUND WIRES IN NEW CONDUITS.
- 14.INSTALL BOXES RIGIDLY ON BUILDING STRUCTURE AND SUPPORT INDEPENDENTLY OF THE CONDUIT SYSTEM USING FASTENERS SUCH AS "CADDY CLIPS" OR EQUAL. ALSO PROVIDE SUITABLE/PROPER BOX EXTENSIONS TO EXTEND BOXES TO FINISHED FACES OF WALLS ETC. ALL OUTLET BOXES TO HAVE SUITABLE BLOCKING BEHIND THEM TO MINIMIZE THE DEFLECTION THAT OCCURS WHEN PLUGGING/UNPLUGGING INTO THESE DEVICES.

 15.PROVIDE EXPANSION FITTINGS WHERE CONDUITS EMERGE AND RISE UP FROM BELOW GRADE TO RISER

26 09 23 LIGHTING CONTROL DEVICES

1. SEE SHEET E1, "DEER HAVEN ELECTRICAL PLANS" FOR LIGHTING CONTROL DETAILS.

26 24 16 PANELBOARDS

1. PROVIDE FULL-SIZE BREAKERS. ALL C/B SHALL BE OF QUICK-MAKE AND QUICK--BREAK DESIGN, THERMAL MAGNETIC-TYPE PLUG-IN BREAKERS, TRIP-FREE AND TRIP-INDICATING, AND COPPER BUS. ALL MULTI-POLE BREAKERS SHALL BE COMMON TRIP. EXISTING PANEL IS SQUARE D NQ SERIES. MATCH EXISTING BREAKER TYPE. TAG ALL BRANCH CIRCUITS AND PROVIDE TYPEWRITTEN CIRCUIT DIRECTORY IN DOOR.

26 28 00 LOW-VOLTAGE CIRCUIT PROTECTIVE DEVICES

PROVIDE ENCLOSED MOLDED CASE CIRCUIT BREAKER AS CALLED FOR ON THE DRAWINGS AND AS REQUIRED BY

- CODE. CIRCUIT BREAKER SHALL COMPLY WITH UL 98, NEMA, AND ANSI. MINIMUM INTERRUPTING CAPACITY AS SHOWN ON THE DRAWINGS. THERMAL MAGNETIC AND TRIPPED CIRCUIT BREAKER IN NEMA 1 ENCLOSURE AS MANUFACTURED BY GE, SQUARE D, SIEMENS OR EATON.
- 2. NEW OR REFURBISHED CIRCUIT BREAKERS SHALL BE COMPATIBLE WITH EXISTING PANELBOARDS/DISTRIBUTION PANELS/SWITCHBOARDS.

26 50 00 LIGHTING

 ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL FIXTURES AND LAMPS. ALL FIXTURES AND LAMPS SHALL BE UL LISTED. LIGHTING FIXTURES AND LAMPS SHALL BE FURNISHED AS SCHEDULED ON THE LIGHTING FIXTURE SCHEDULE.

27 00 00 COMMUNICATIONS SPECIFICATIONS

1. THIS WORK IS PART OF THE ELECTRICAL WORK. REFER TO SECTION 27 05 28 AND 27 11 00.

27 05 28 PATHWAYS FOR COMMUNICATIONS

- 1. COORDINATE ROUGH-IN LOCATIONS OF LOW VOLTAGE OUTLETS, AND PROVIDE ALL NECESSARY PATHWAYS WITH PULL WIRE AND JUNCTION BOX FOR LOW-VOLTAGE ROUGH-IN LOCATIONS. THE OWNER SHALL PROVIDE THE FOLLOWING WORK DIRECTLY OR THROUGH A SEPARATELY NEGOTIATED CONTRACT. CLOSELY FIELD COORDINATE WITH OWNERS TECHNOLOGY CONTRACTOR.
- I. TELEPHONES, JACKS, COVER PLATES, WIRING, AND FINAL CONNECTIONS.
- J. COMPUTERS, CONNECTORS, JACKS, COVER PLATES, CABLING, AND FINAL CONNECTION.
- K. SECURITY SYSTEM COMPONENTS, ROUGH-IN, WIRING, AND FINAL CONNECTION.
- L. TELEVISION RECEIVERS, CONNECTORS, COVER PLATES, CABLING, AND FINAL CONNECTION.
- M. ACCESS CONTROL

ELECTRICAL SPECIFICATIONS

DEER HAVEN PARK
SITE ELECTRIC IMPROVEMENTS

4183 LIBERTY ROAD

DELAWARE, OH 43015

PREPARED FOR:
PRESERVATION PARKS OF DELAWARE COUNTY
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