

HISTORIC SCHOOL HOUSE RENOVATION

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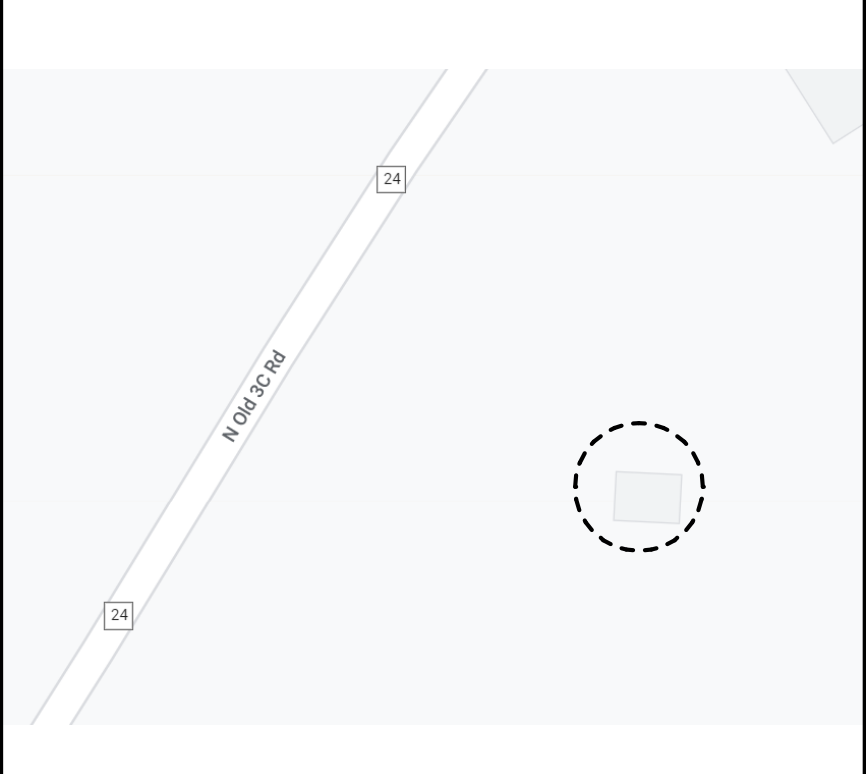
GENERAL NOTES

- DIMENSIONS ARE TO THE FACE OF FINISH MATERIAL UNLESS NOTED.
- ALL ITEMS ARE NEW UNLESS NOTED.
- PROVIDE PATCHING DUE TO CUTTING AND/OR DEMOLITION.
- PROVIDE CUTTING AND DEMOLITION AS REQUIRED TO COMPLETE THE WORK.
- PROVIDE JOINT SEALANT AT JOINTS BETWEEN DISSIMILAR MATERIALS AND AS INDICATED.
- PROVIDE BLOCKING OR STRAPPING TO SUPPORT FINISHES, FIXTURES, AND TRIM.

INDEX

Sheet Number	Sheet Name
G-001	COVER SHEET
AS-100	ARCHITECTURAL SITE PLAN
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A-102	DETAILS
H-100	HVAC FLOOR PLAN
ME-100	HVAC & ELECTRICAL SPECIFICATIONS
E-100	ELECTRICAL FLOOR PLAN

LOCATION MAP



VICINITY MAP



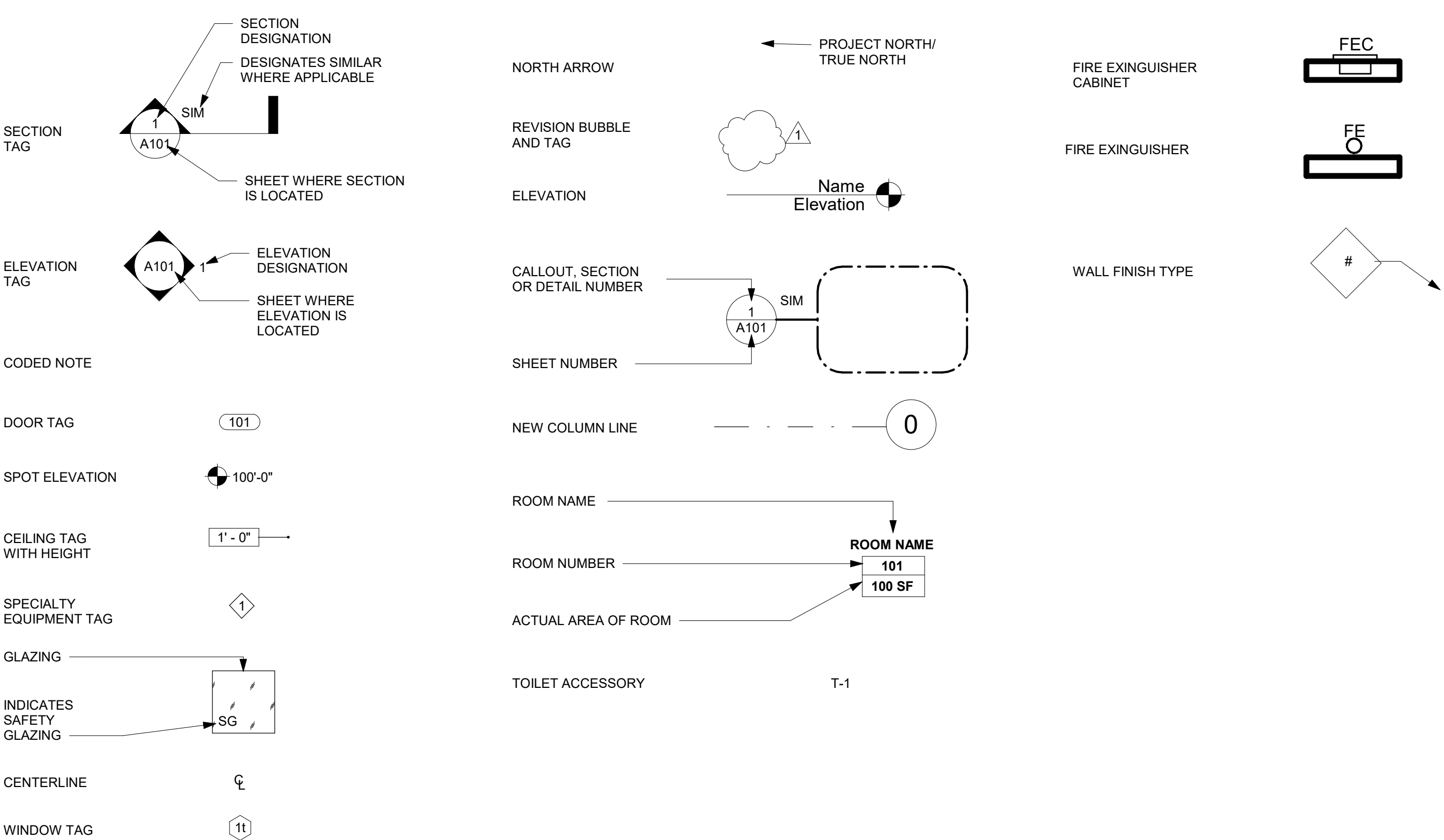
CODE DATA

APPLICABLE CODES 2024 OHIO EXISTING BUILDING CODE UTILIZING 301.3.1 PRESCRIPTIVE COMPLIANCE METHOD 2024 OHIO BUILDING CODE	309 ADDITIONS AND REPLACEMENTS OF EXTERIOR WALL COVERINGS AND EXTERIOR WALL ENVELOPES LIMITED RENOVATIONS WILL MEET CURRENT CODE REQUIREMENTS.
DESCRIPTION OF WORK: THIS PROJECT CONSISTS OF EXTERIOR REPAIR/IMPROVEMENTS AND AN INTERIOR RENOVATION OF AN HISTORIC SCHOOLHOUSE.	503 ALTERATIONS ALL ALTERATIONS COMPLY WITH CURRENT CODE
USE AND OCCUPANCY CLASSIFICATION: ASSEMBLY: A-3	504 FIRE ESCAPES NOT APPLICABLE
CONSTRUCTION CLASSIFICATION: TYPE VB	505 WINDOWS AND EMERGENCY ESCAPE OPENINGS NOT APPLICABLE
AREA: 746 SF	506.1 COMPLIANCE CHANGE OF OCCUPANCY FROM E TO A-3. NEW OCCUPANCY CLASSIFICATION IS NOT MORE HAZARDOUS THAN EXISTING.
OCCUPANT LOAD: 49 MAXIMUM	506.2 CERTIFICATE OF OCCUPANCY WILL BE COMPLIED WITH.
302.4 NEW AND REPLACEMENT MATERIALS COMPLIES	506.3 STAIRWAYS NOT APPLICABLE
303 STORM SHELTERS NOT APPLICABLE	506.4 EXISTING EMERGENCY ESCAPE AND RESCUE OPENINGS NOT APPLICABLE
304 STRUCTURAL DESIGN LOADS AND EVALUATION AND DESIGN PROCEDURES NOT APPLICABLE	507 HISTORIC BUILDINGS NOT APPLICABLE
305 IN-SITU LOAD TESTS NOT APPLICABLE	OBC 1202.5.1 NATURAL VENTILATION AREA REQUIRED FLOOR AREA BEING VENTILATED: 750 SF 4% OF 750 SF = 30SF REQUIRED OPENING AREA ACTUAL OPENING AREA: WINDOWS HAVE 10.28 SF PER WINDOW. 10.28 X 8 WINDOWS = 82.24 SF DOOR HAS OPENING OF AREA OF 22 SF. TOTAL OPENING AREA: 82 SF + 22 SF = 104 SF. EXCEEDS REQUIRED AREA.
306 ACCESSIBILITY FOR EXISTING BUILDINGS EXISTING ENTRANCE IS BEING REVISED TO BE ACCESSIBLE	
307 SMOKE ALARMS NOT APPLICABLE	
308 CARBON MONOXIDE DETECTION NOT APPLICABLE	

ABBREVIATION LIST

ADA	ADA ACTUATOR	EQUIP	EQUIPMENT	OPP	OPPOSITE
ADJ	ADJACENT	ETR	EXISTING TO REMAIN	OS	OCCUPANCY SENSOR
AP	WIRELESS ACCESS POINT	EX	EXISTING	PH	PAGING HORN
APC	ACOUSTIC PANEL CEILING	EXP	EXPOSED	PL	PROPERTY LINE
AFF	ABOVE FINISH FLOOR	FA	FIRE ALARM STROBE	PLAM	PLASTIC LAMINATE
ALT	ALTERNATE	FD	FLOOR DRAIN	PLYWD	PLYWOOD
ALUM	ALUMINUM	FDC	FIRE DEPARTMENT CONNECTION	PNT	PAINT OR PAINTED
AP	ACCESS PANEL	FE	FIRE EXTINGUISHER	PR	PROX READER
APPROX	APPROXIMATE	FEC	FIRE EXTINGUISHER CABINET	PT	PARTITION SENSOR
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FO	FLOOR OUTLET	PTM	PATCH TO MATCH
BLDG	BUILDING	FS	FLOOR SINK	QT	QUARRY TILE
BOT	BOTTOM	FT	FLOOR TROUGH	RD	ROOF DRAIN
CB	CALL BUTTON	GA	GAGE OR GAUGE	RO	ROUGH OPENING
C/C	CENTER TO CENTER	GC	GENERAL CONTRACT(OR)	ROW	RIGHT OF WAY
CG	CORNER GUARD	GCJ	GYPSTUM BOARD CONTROL JOINT	S	SPEAKER
CFMF	COLD FORMED METAL FRAMING	GL	GLASS	SC	SOLID CORE
CJ	CONTROL JOINT	GWB	GYPSTUM WALL BOARD	SF	SQUARE FEET OR FOOT
CL	CENTERLINE	HB	HOSE BIBB	SG	SAFETY GLAZING
CLG	CEILING	HM	HOLLOW METAL	SIM	SIMILAR
CO	CLEANOUT	IC	INTERCOM	SPEC	SPECIFICATION(S)
COL	COLUMN	IGU	INSULATED GLASS UNIT	SST	STAINLESS STEEL
CONC	CONCRETE	IJ	ISOLATION JOINT	STC	SOUND TRANSMISSION COEFFICIENT
CMU	CONCRETE MASONRY UNIT	KB	KNOX BOX	STL	STEEL
CPT	CARPET	LVT	LUXURY VINYL TILE	STP	SHORT THROW PROJECTOR
CR	CARD READER	MAX	MAXIMUM	STRUCT	STRUCTURAL
CT	CERAMIC TILE	MB	MARKERBOARD	TB	TACKBOARD
DEMO	DEMOLITION	MIN	MINIMUM	TSTAT	THERMOSTAT
DF	DRINKING FOUNTAIN	MISC	MISCELLANEOUS	TYP	TYPICAL
DH	DOOR HEATER	MO	MASONRY OPENING	UH	UNIT HEATER
DIAM	DIAMETER	MR	MAP RAIL	UNO	UNLESS NOTED OTHERWISE
DIM	DIMENSION	MW	MARKERWALL	VCT	VINYL COMPOSITE TILE
DN	DOWN	N	NORTH (DIRECTION)	VS	VACANCY SENSOR
DSN	DOWNSPOUT NOZZLE	NA	NOT APPLICABLE	W/	WITH
EJ	EXPANSION JOINT	NIC	NOT IN CONTRACT	WD	WOOD
EP	ELECTRICAL PANEL	OBC	OHIO BUILDING CODE	WH	WALL HYDRANT
EQ	EQUAL	OH	OPPOSITE HAND	W/O	WITHOUT

DRAWING SYMBOLS



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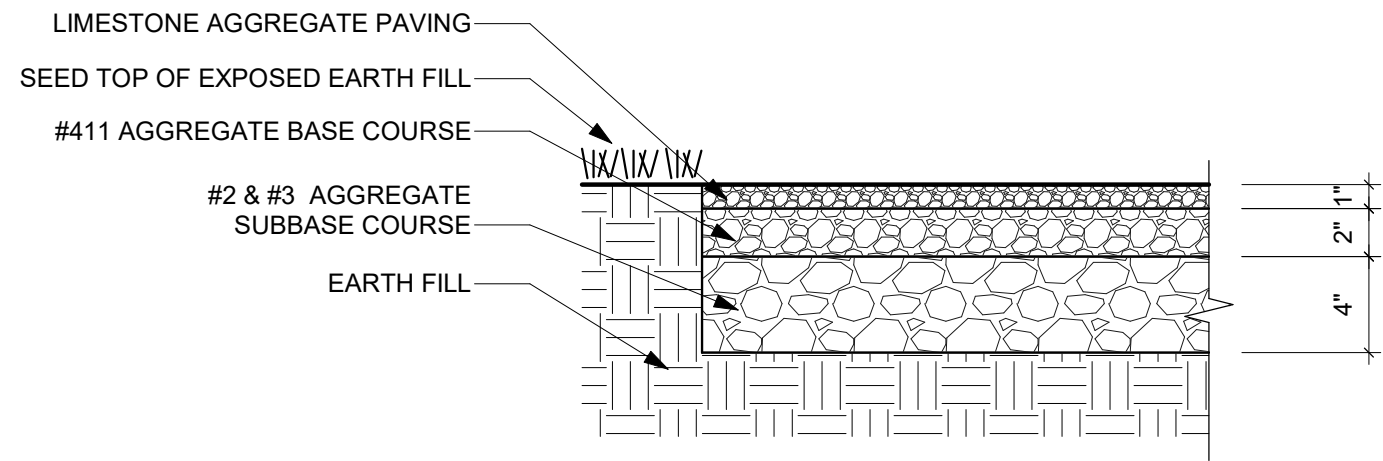
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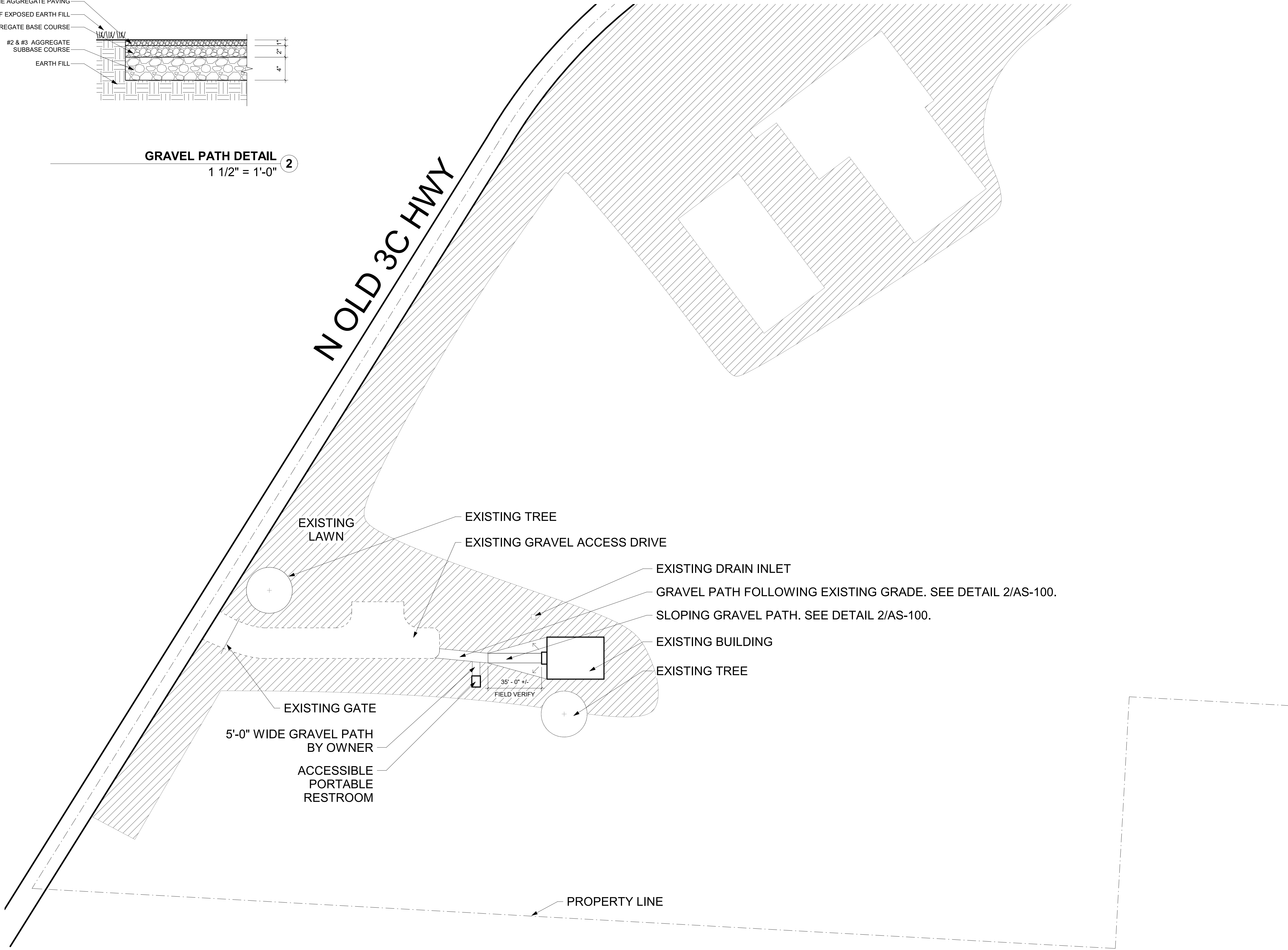
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G-001
COVER SHEET

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GRAVEL PATH DETAIL 2
1 1/2" = 1'-0"



ARCHITECTURAL SITE PLAN 1
1" = 30'-0"

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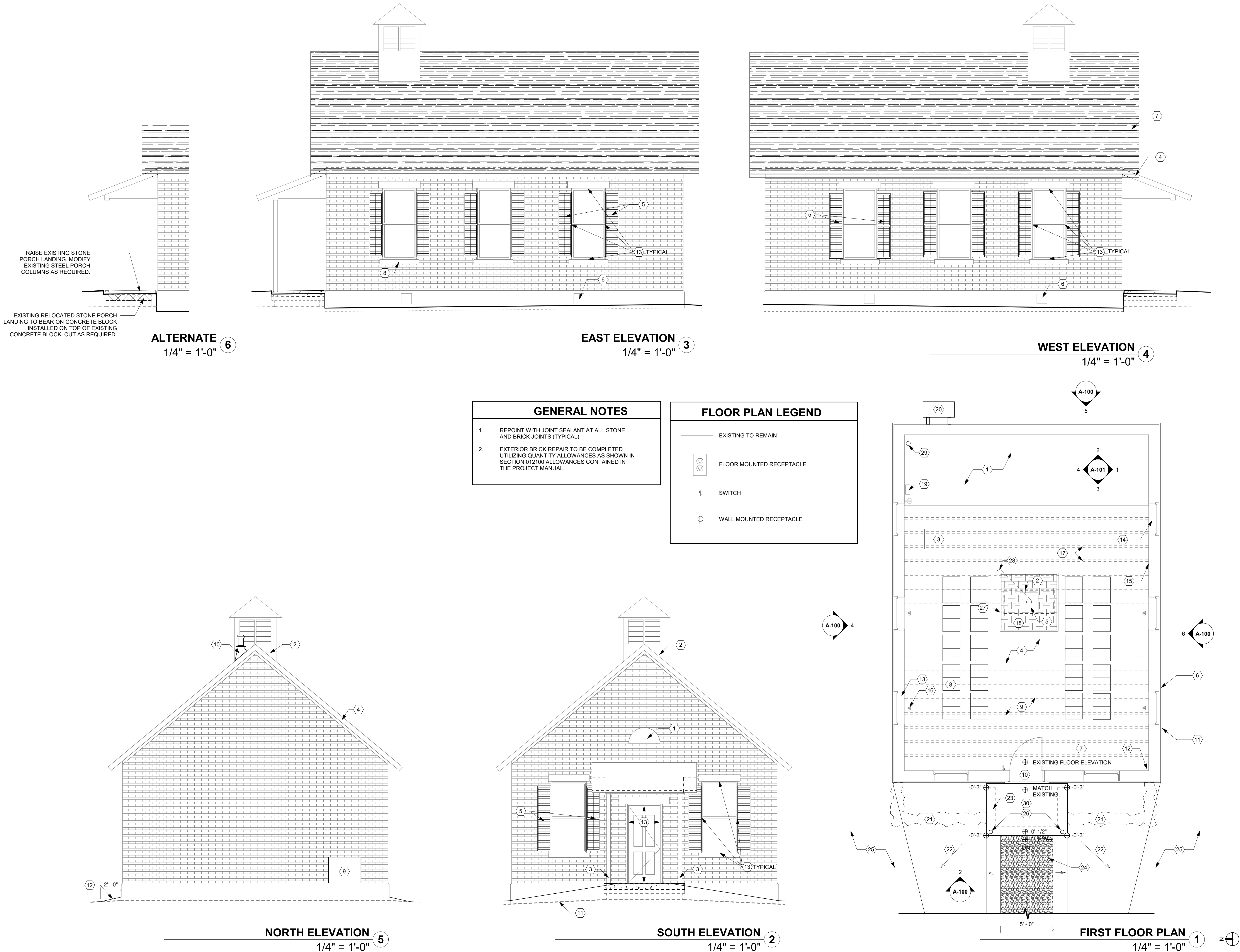
AS-100
ARCHITECTURAL SITE PLAN

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ELEVATION LEGEND	
	EXISTING BRICK - REPOINT ENTIRE SURFACE
	EXISTING SLATE ROOF

CODED NOTES - EXTERIOR ELEVATION	
#	DESCRIPTION
1	EXISTING STONE SIGN
2	PAINT ALL SIDES OF EXISTING WOOD BELL TOWER - BY OWNER
3	PAINT EXISTING METAL COLUMNS - BY OWNER
4	REPAINT EXISTING WOOD FASCIA TRIM, SOFFIT, AND BRACKETS - BY OWNER
5	SHUTTERS - BY OWNER
6	EXISTING FOUNDATION VENT
7	EXISTING SLATE TILE ROOF
8	REVERSE EXISTING DAMAGED STONE SILL
9	HEAT PUMP UNIT - SEE HVAC
10	METAL FLUE FOR WOOD BURNING STOVE - SEE MECHANICAL
11	EXISTING GRADE
12	PROVIDE 4" OF EARTH FILL AT FACE OF FOUNDATION TO 2' BEYOND FOUNDATION SLOPED TO MEET EXISTING GRADE. SEED EARTH FILL.
13	PROVIDE JOINT SEALANT AT JOINT BETWEEN EXISTING WOOD FRAME AND EXISTING MASONRY

CODED NOTES - FLOOR PLAN	
#	DESCRIPTION
1	REFINISH EXISTING WOOD FLOOR ON PLATFORM - BY OWNER
2	BRICK FLOORING
3	TEACHER DESK - BY OWNER
4	REPAINT EXISTING WOOD CEILING ABOVE - BY OWNER
5	WOOD BURNING STOVE - FURNISHED BY OWNER
6	REPLACE CRACKED/BROKEN BRICKS AT TOP OF RIGHT OF WINDOW LEADING UP TO TOP OF WALL AND REPOINT MASONRY JOINTS
7	REPLACE WATER DAMAGED CEILING TONGUE AND GROOVE BOARDS - BY OWNER
8	20 STUDENT DESKS - BY OWNER
9	REFINISH EXISTING WOOD FLOOR - BY OWNER
10	REPLACE EXISTING WOOD THRESHOLD, 1/2" MAXIMUM HEIGHT - BY OWNER
11	REPLACE CRACKED/BROKEN BRICKS AT TOP LEFT OF THE WINDOW LEADING UP TO TOP OF WALL AND REPOINT MASONRY JOINTS
12	REPOINT EXISTING JOINTS WITH MISSING MORTAR AT TOP CORNER OF WALL.
13	EXISTING WINDOWS
14	RESTORE/REPLACE WOOD TRIM AND CAPS AROUND ALL WINDOWS - BY OWNER
15	INSTALL PLASTER ON ALL INTERIOR WALLS
16	EXISTING FLOOR RECEPTACLE
17	EXISTING FLOOR JOISTS
18	BRICK TO BE INSTALLED DIRECTLY ON STONE. INSTALL BRICK IN BASKETWEAVE PATTERN AS SHOWN.
19	EXISTING ELECTRICAL PANEL TO BE RELOCATED - SEE ELECTRICAL
20	WALL MOUNTED HVAC UNIT - SEE HVAC
21	REMOVE EXISTING STONE PLANTING BED EDGING
22	FILL FROM GRAVEL PATH TO EXISTING GRADE. SEED FILL AREA
23	EXISTING CONCRETE BLOCK FOUNDATION WALL
24	GRAVEL WALKING PATH SLOPE AT 1:20 MAXIMUM TO MEET EXISTING GRADE
25	EXISTING GRADE/LAWN
26	EXISTING COLUMNS
27	WOOD EDGE RESTRAINT - BY OWNER
28	LOCATE FLUE TO PROVIDE MINIMUM 2" CLEARANCE TO EXISTING WOOD CEILING JOISTS AND RAFTERS. FIELD VERIFY LOCATION OF EXISTING WOOD FRAMING.
29	FIRE EXTINGUISHER - BY OWNER
30	CONCRETE LANDING WITH 6 X 6-W2.9 X W2.9 WWF POURED ON TOP OF EXISTING STONE LANDING

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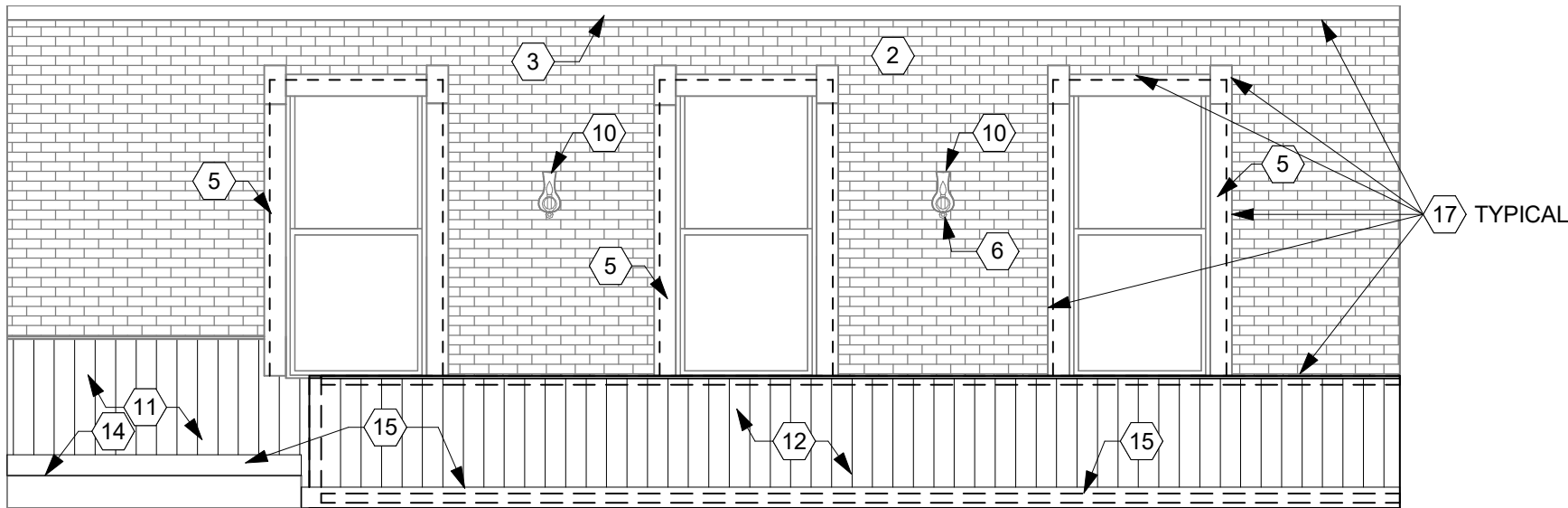
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A-100
EXISTING PLAN AND ELEVATIONS

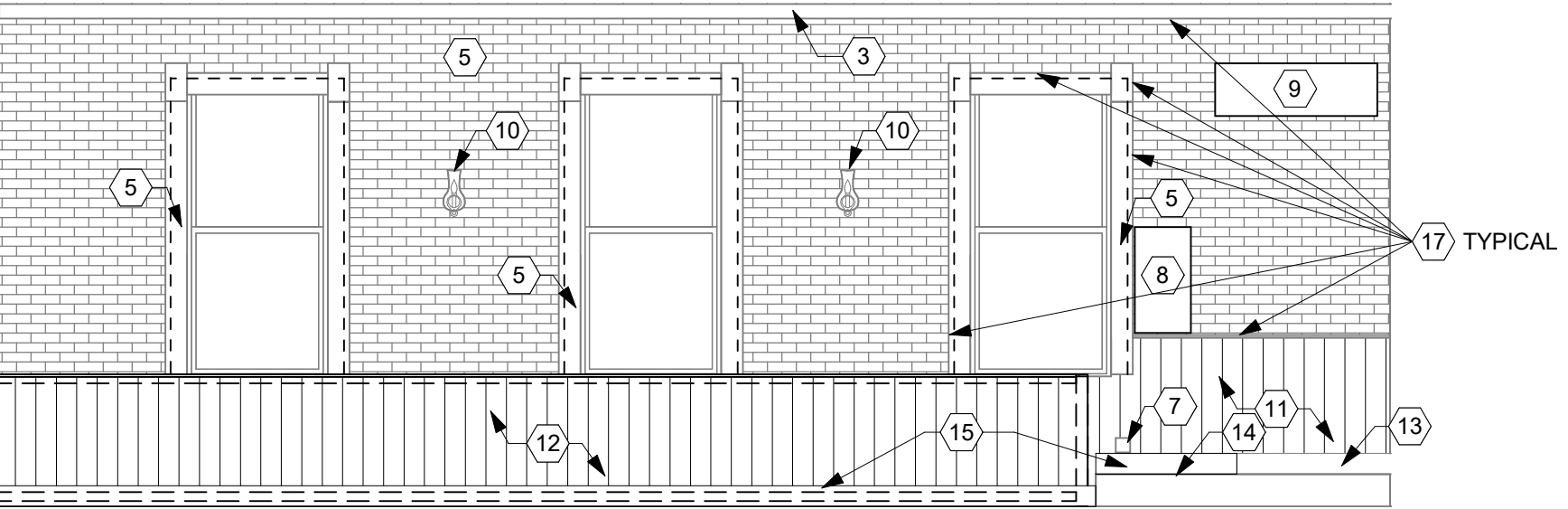
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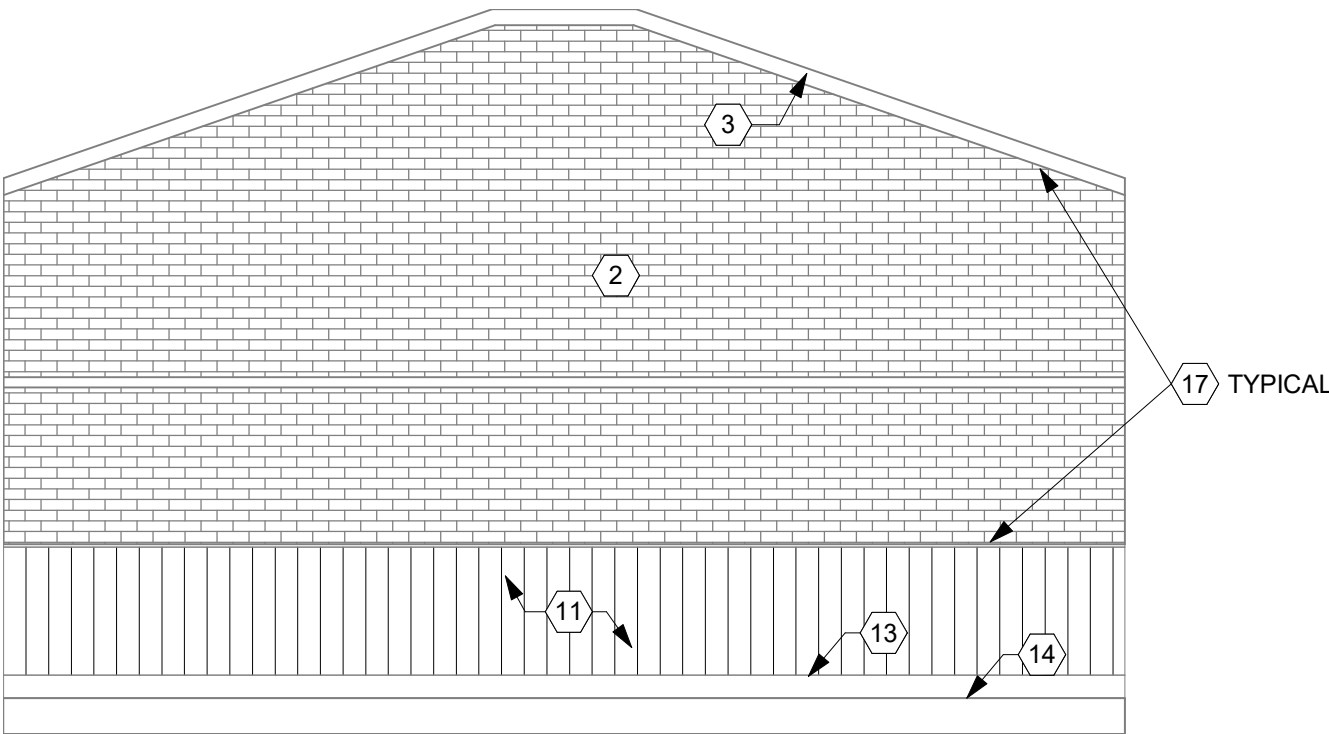
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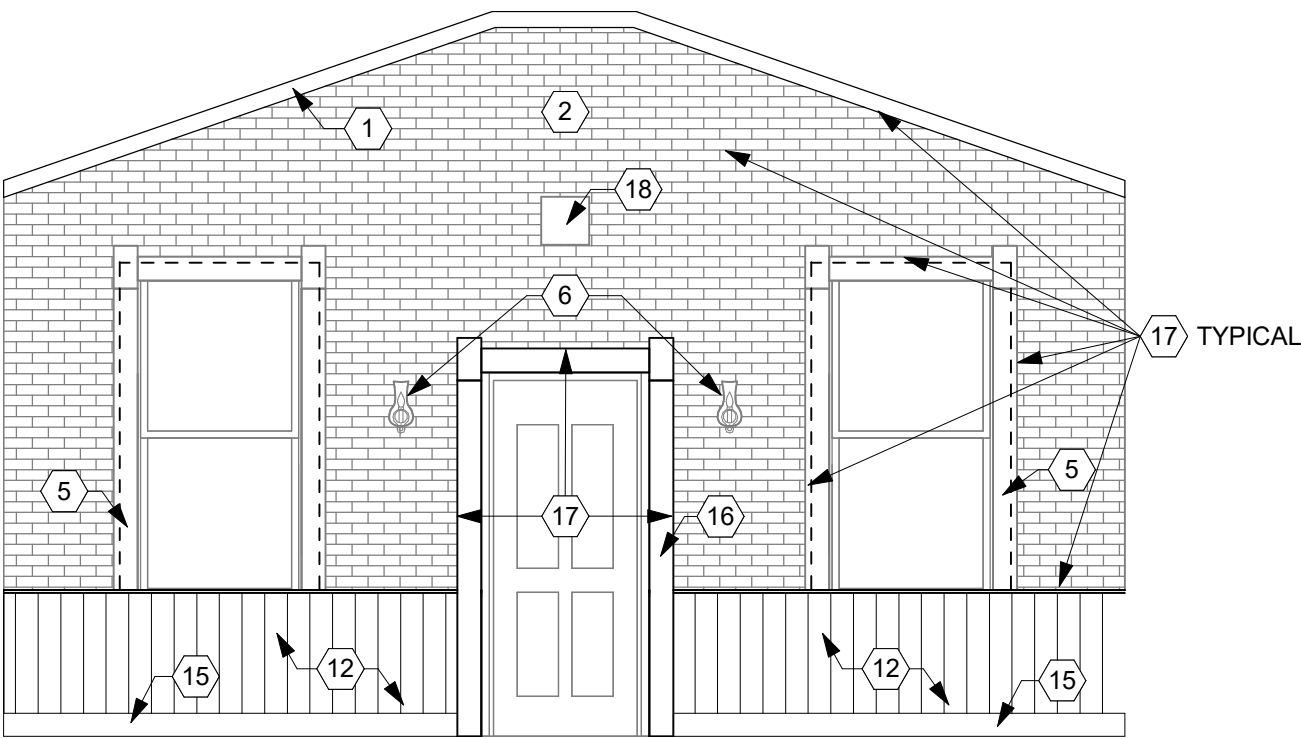
INTERIOR ELEVATION - EAST 1
1/4" = 1'-0"



INTERIOR ELEVATION - WEST 4
1/4" = 1'-0"



INTERIOR ELEVATION - NORTH 2
1/4" = 1'-0"



INTERIOR ELEVATION - SOUTH 3
1/4" = 1'-0"

CODED NOTES - INTERIOR ELEVATIONS	
#	DESCRIPTION
1	WOOD TRIM BY OWNER
2	PROVIDE PLASTER ON EXPOSED BRICK
3	EXISTING WOOD TRIM
5	EXISTING WOOD WINDOW TRIM AND DECORATIVE CAPS
6	EXISTING LIGHT FIXTURES - SEE ELECTRICAL
7	EXISTING ELECTRIC OUTLET - SEE ELECTRICAL
8	RELOCATED EXISTING ELECTRIC PANEL - SEE ELECTRICAL
9	WALL MOUNTED HVAC UNIT - SEE HVAC
10	REMOVED EXISTING LIGHT FIXTURES - SEE ELECTRICAL
11	EXISTING WOOD WAINSCOTING
12	WOOD WAINSCOTING ON EXISTING FURRING STRIPS - BY OWNER
13	EXISTING WOOD WALL BASE
14	EXISTING PLATFORM
15	WOOD WALL BASE - BY OWNER
16	EXISTING WOOD DOOR TRIM AND DECORATIVE CAPS - BY OWNER
17	PROVIDE JOINT SEALANT AT JOINT BETWEEN EXISTING WOOD TRIM AND PLASTER
18	EXISTING PLASTER TO REMAIN. OWNER WILL FRAME IN WITH WOOD TRIM.

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A-101
INTERIOR ELEVATIONS

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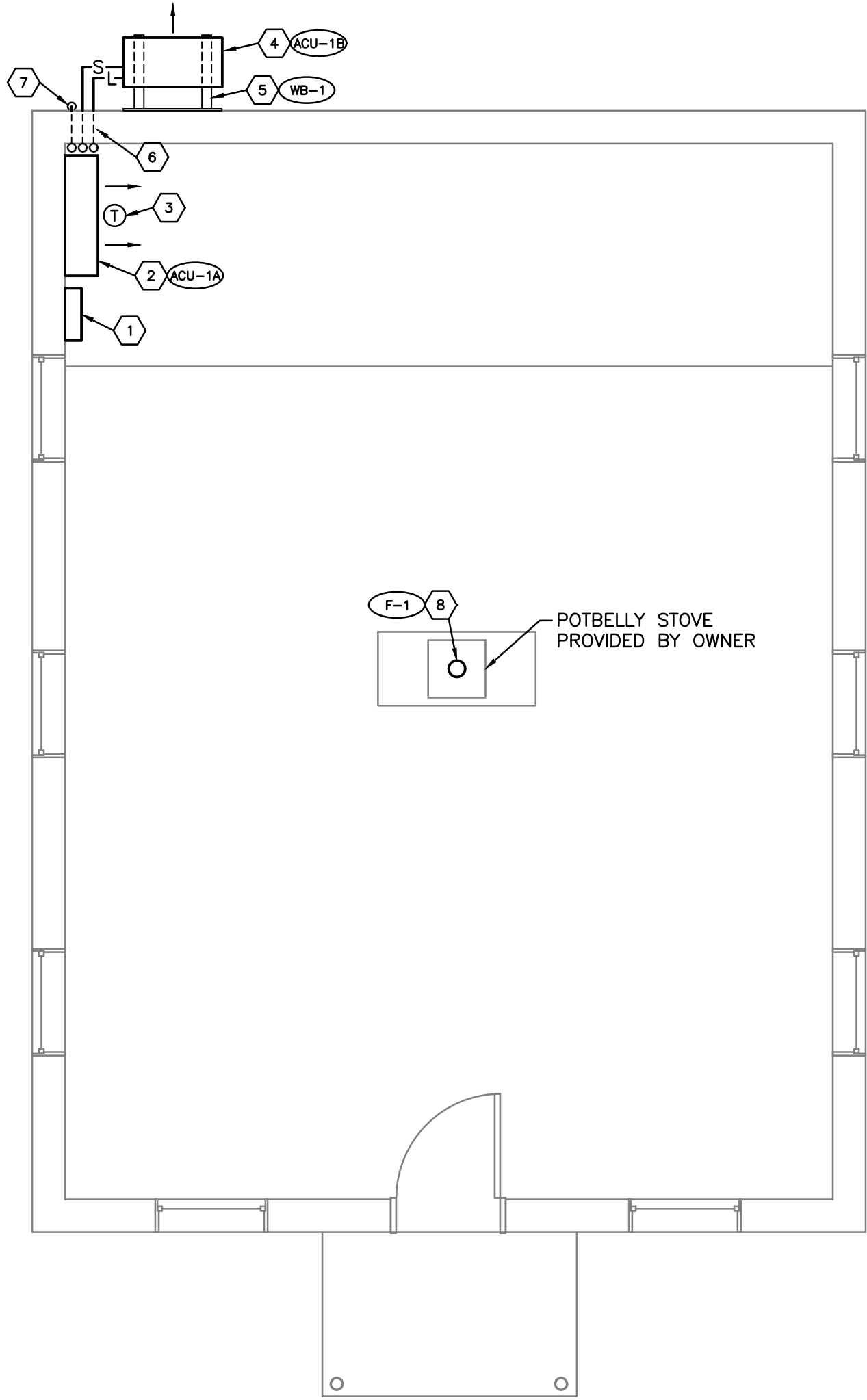


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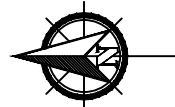
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A-102

DETAILS



HVAC
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES

- A SLEEVE AND SEAL ALL PIPING PASSING THROUGH WALLS UNLESS NOTED OTHERWISE.
- B CONNECTION TO EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURERS' CERTIFIED DRAWINGS. TRANSITIONS TO ALL EQUIPMENT SHALL BE VERIFIED AND PROVIDED FOR EQUIPMENT FURNISHED.

NOTES

- 1 EXISTING ELECTRICAL PANEL RELOCATED.
- 2 DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT. MOUNT HIGH ON WALL. VERIFY EXACT LOCATION WITH ARCHITECT AND OWNER. REFER TO EQUIPMENT DATA THIS SHEET.
- 3 MINI-SPLIT REMOTE WIRELESS THERMOSTAT FURNISHED WITH UNIT.
- 4 MINI-SPLIT OUTDOOR HEAT PUMP UNIT. MOUNT ON WALL BRACKET 18" ABOVE FINISHED GRADE.
- 5 HEAT PUMP UNIT WALL BRACKET. REFER TO EQUIPMENT DATA THIS SHEET.
- 6 EXTEND REFRIGERANT PIPING THRU WALL NEAR FLOOR. SEAL ALL PIPING WALL PENETRATIONS WEATHERTIGHT.
- 7 RUN 3/4" PVC DRAIN LINE THRU WALL AND TERMINATE 12" ABOVE FINISH GRADE. PROVIDE CONCRETE SPLASH PAD.
- 8 RISE 6" DIA. FLUE FOR POTBELLY STOVE AND EXTEND THRU ROOF. REFER TO POTBELLY STOVE FLUE DETAIL ON SHEET A-102 AND EQUIPMENT DATA, ITEM F-1 ON SHEET H-100 FOR FLUE PIPING, FITTINGS, ACCESSORIES, ETC. REQUIRED FOR INSTALLATION.

EQUIPMENT DATA

- ACU-1A DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT: INDOOR WALL MOUNTED FAN COIL UNIT WITH AIR FLOW DIRECTION CONTROL, AUTO FAN SPEED MODE, AUTO-RESTART FUNCTION AND REMOTE WIRELESS THERMOSTAT WITH WALL MOUNTING BRACKET.
COOLING CAPACITY 36,986 BTUH.
382/832 CFM
BASIS OF DESIGN: BRYANT MODEL 615AHAQ33XA3.
WI-FI ACCESSORY: BRYANT MODEL KSAIF0701AAA.
- ACU-1B OUTDOOR HEAT PUMP UNIT: VARIABLE SPEED INVERTER DRIVEN COMPRESSOR, LOW AMBIENT COOLING TO 0 DEG. F., HIGH PRESSURE PROTECTION.
COOLING CAPACITY 36,936 BTUH.
HEATING CAPACITY 33,857 BTUH AT 5 DEGREES F. OUTDOOR.
ELECTRICAL DATA: 240 VOLT, 60 HZ, 1 PHASE. MCA 34.0, RECOMMENDED BREAKER 35A.
BASIS OF DESIGN: BRYANT MODEL 37MAHAQ33AA3.
- WB-1 WALL BRACKET: SLIDER TRACK BRACKET, STAINLESS STEEL CONSTRUCTION, 350 LB. CAPACITY AND VIBRATION ISOLATORS.
BASIS OF DESIGN: QUICK SLING MODEL QSWB2000SS.
- F-1 POTBELLY STOVE FLUE AND ACCESSORIES:
* 6" DOUBLE WALL STEEL-BLACK FLUE PIPE.
* 6" CLASS "A" STAINLESS STEEL DOUBLE WALL FLUE PIPE.
* 6" CEILING SUPPORT BOX AND TRIM COLLAR.
* 6" STAINLESS STEEL RAIN CAP.
* STAINLESS STEEL ROOF FLASHING AND STORM COLLAR.
* HIGH TEMPERATURE SILICONE SEALANT.
BASIS OF DESIGN: DURA VENT COMPANY

HVAC LEGEND

(NOT ALL SYMBOLS ON THE LEGEND APPLY TO THIS PROJECT)

- H.C. HVAC CONTRACTOR.
- E.C. ELECTRICAL CONTRACTOR.
- G.C. GENERAL CONTRACTOR.

3 PLAN NOTE SYMBOL — ONLY APPLIES TO THE SHEET ON WHICH NOTE IS SHOWN.

P-7 EQUIPMENT REFERENCE SYMBOL.

CONNECT TO EXISTING SYMBOL.

T THERMOSTAT — MOUNTING HEIGHT 46". WHEN MOUNTED NEXT TO WALL SWITCH, COORDINATE WITH E.C.

L REFRIGERANT LIQUID LINE.

S REFRIGERANT SUCTION LINE.

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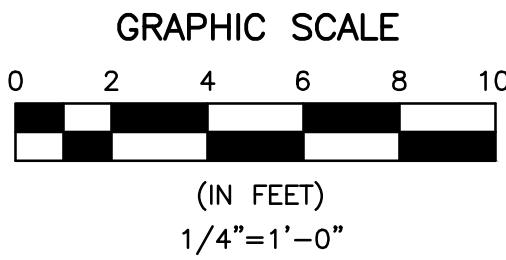
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PROJECT NUMBER: 251109

H-100
HVAC FIRST FLOOR PLAN

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HVAC SPECIFICATIONS

- 1

A COMPLETE HEATING, VENTILATING AND AIR CONDITIONING SYSTEM AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. WORK INCLUDES, BUT IT IS NOT NECESSARILY LIMITED TO THE FOLLOWING PRINCIPAL CATEGORIES:

A DUCTLESS MINI-SPLIT AIR CONDITION UNIT.
B WALL BRACKET FOR HEAT PUMP.
C POTBELLY STOVE FLUE.
- 2

AS SOON AS PRACTICABLE, AND BEFORE INSTALLATION AND CONSTRUCTION, FURNISH FOR REVIEW ELECTRONIC SUBMITTALS OF SHOP DRAWINGS AND/OR DESCRIPTIVE LITERATURE CLEARLY IDENTIFYING THE MANUFACTURER, SPECIFIC MODEL NUMBER, APPROVAL LABELS, PERFORMANCE DATA, ELECTRICAL CHARACTERISTICS AND OTHER INFORMATION SUFFICIENT TO EVIDENCE COMPLIANCE WITH THE CONTRACT DOCUMENTS. SHOP DRAWINGS FOR THE FOLLOWING EQUIPMENT AND MATERIALS SHALL BE SUBMITTED:

A DUCTLESS MINI-SPLIT.
B HEAT PUMP WALL BRACKET.
C POTBELLY STOVE FLUE.

ELECTRONIC SUBMITTALS SHALL IDENTIFY AND INCORPORATE INFORMATION IN EACH ELECTRONIC SUBMITTAL FILE AS FOLLOWS:

A ASSEMBLE COMPLETE SUBMITTAL PACKAGE INTO A SINGLE INDEXED FILE INCORPORATING SUBMITTAL REQUIREMENTS OF A SINGLE SPECIFICATION SECTION AND TRANSMITTAL FORM WITH LINKS ENABLING NAVIGATION TO EACH ITEM.
B NAME FILE WITH SUBMITTAL NUMBER OR OTHER UNIQUE IDENTIFIER, INCLUDING REVISION IDENTIFIER.
- 3

THIS CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP, EQUIPMENT AND MATERIAL ENTERING INTO THIS CONTRACT FOR PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 4

FURNISH AN INSPECTION CERTIFICATE OF APPROVAL BY THE LOCAL INSPECTION DEPARTMENT AS A CONDITION OF FINAL ACCEPTANCE.
- 5

SUPPORT EQUIPMENT AND PIPE HANGERS FROM STRUCTURAL PORTIONS ONLY, NOT FROM ROOF DECKS, ETC.
- 6

PROVIDE ALL CUTTING AND PATCHING NECESSARY TO INSTALL THE WORK.
- 7

INSULATE REFRIGERANT SUCTION PIPING WITH 1–1/2" THICK CLOSED CELL FLEXIBLE FOAM ELASTOMERIC TUBULAR INSULATION EQUAL TO ARMSTRONG "ARMAFLEX FR". MAINTAIN A CONTINUOUS VAPOR BARRIER. INSULATION SHALL MEET 25/50 SMOKE DEVELOPMENT RATINGS.
- 8

DUCTLESS MINI-SPLIT AIR CONDITIONING UNIT
- A

REFER TO EQUIPMENT DATA ON DRAWINGS FOR SPECIFICATIONS. EQUAL EQUIPMENT BY CARRIER, MITSUBISHI ACCEPTABLE.
- 9

POTBELLY STOVE FLUE AND ACCESSORIES SHALL BE AS MANUFACTURED BY DURA VENT OR EQUAL BY DURA PLUS OR HEAT FAB. REFER TO EQUIPMENT DATA ON DRAWINGS FOR ALL PIPING, FITTINGS AND ACCESSORIES.
- 10

AS EACH AIR DISTRIBUTION SYSTEM IS PUT INTO OPERATION, ALL ITEMS OF EQUIPMENT INCLUDED THEREIN SHALL BE ADJUSTED TO PERFECT WORKING ORDER. THIS SHALL INCLUDE BALANCING AIR AND ADJUSTING FAN SPEEDS, BELTS, AND PULLEYS, TIGHTENING PACKING GLANDS, OILING AND ADJUSTING ALL OPERATING EQUIPMENT.
- 11

VERSE THE OWNER'S REPRESENTATIVES IN ALL MATTERS PERTAINING TO THE PROPER OPERATION AND MAINTENANCE OF EQUIPMENT, WHICH IS FURNISHED UNDER THIS CONTRACT. INSTALLATION, MAINTENANCE AND OPERATING INSTRUCTION PAMPHLETS, OR BROCHURES AND WARRANTIES, SHALL BE OBTAINED FROM EACH MANUFACTURER OF THE PRINCIPAL ITEMS OF EQUIPMENT, AND THESE SHALL BE TURNED OVER TO THE ARCHITECT FORMALLY, IN A LETTER OF TRANSMITTAL, LISTING SPECIFICALLY THE NATURE OF THE MATERIAL BEING TRANSMITTED. THE ARCHITECT WILL TURN THIS MATERIAL OVER TO THE OWNER IN A FORMAL LETTER OF TRANSMITTAL. IN ADDITION, THE CONTRACTOR SHALL PREPARE A CHART LISTING ALL ITEMS OF EQUIPMENT, WHICH ARE FURNISHED UNDER HIS CONTRACT, AND INDICATING THE NATURE OF MAINTENANCE REQUIRED, THE RECOMMENDED FREQUENCY OF CHECKING THESE POINTS AND THE TYPE OF LUBRICATING MEDIA OR REPLACEMENT MATERIAL REQUIRED. THREE (3) SET OF OPERATING AND MAINTENANCE INSTRUCTIONS AND WIRING DIAGRAMS SHALL BE FURNISHED ON EACH PIECE OF EQUIPMENT.
- 12

AFTER ALL EQUIPMENT HAS BEEN ADJUSTED, THE CONTRACTOR SHALL MAKE A TRIAL RUN AND DEMONSTRATE TO THE OWNER THAT THE REQUIREMENTS OF THE CONTRACT HAVE BEEN FULFILLED. DURING THIS RUN, THE CONTRACTOR SHALL EXPLAIN TO THE OWNER'S REPRESENTATIVE THE COMPLETE OPERATION OF THE SYSTEM AND THE FUNCTION OF ALL MAJOR ITEMS OF EQUIPMENT. A PERIOD OF 48 HOURS OF CONTINUOUS TROUBLE-FREE OPERATION ON ALL PARTS OF THE WORK SHALL BE CONSIDERED THE MINIMUM REQUIREMENT TO DEMONSTRATE THAT THE SYSTEM IS SATISFACTORY AND MEETS FULLY THE REQUIREMENTS OF THE CONTRACT.

END

ELECTRICAL SPECIFICATIONS

- 1

A COMPLETE ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. WORK INCLUDES BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING PRINCIPAL CATEGORIES.

A WIRING DEVICES.
B POWER WIRING.
C MISCELLANEOUS WIRING AND INTERLOCKS.
D EQUIPMENT CONNECTIONS.
E DISCONNECT SWITCHES.
- 2

PROVIDE ARC FAULT WARNING STICKERS ON ALL EQUIPMENT PER NEC 110.16.
- 3

AS SOON AS PRACTICABLE, AND BEFORE INSTALLATION AND CONSTRUCTION, FURNISH FOR REVIEW ELECTRONIC SUBMITTALS OF SHOP DRAWINGS AND/OR DESCRIPTIVE LITERATURE CLEARLY IDENTIFYING THE MANUFACTURER, SPECIFIC MODEL NUMBER, APPROVAL LABELS, PERFORMANCE DATA, ELECTRICAL CHARACTERISTICS AND OTHER INFORMATION SUFFICIENT TO EVIDENCE COMPLIANCE WITH THE CONTRACT DOCUMENTS. SHOP DRAWINGS FOR THE FOLLOWING EQUIPMENT AND MATERIALS SHALL BE SUBMITTED:

A WIRING DEVICES.
B DISCONNECT SWITCHES.

IN LIEU OF "PAPER SUBMITTALS", THE CONTRACTOR CAN SUBMIT "ELECTRONIC SUBMITTALS" OF ALL ITEMS REQUIRING SHOP DRAWINGS.

ELECTRONIC SUBMITTALS SHALL IDENTIFY AND INCORPORATE INFORMATION IN EACH ELECTRONIC SUBMITTAL FILE AS FOLLOWS:

A ASSEMBLE COMPLETE SUBMITTAL PACKAGE INTO A SINGLE INDEXED FILE INCORPORATING SUBMITTAL REQUIREMENTS OF A SINGLE SPECIFICATION SECTION AND TRANSMITTAL FORM WITH LINKS ENABLING NAVIGATION TO EACH ITEM.
B NAME FILE WITH SUBMITTAL NUMBER OR OTHER UNIQUE IDENTIFIER, INCLUDING REVISION IDENTIFIER.
- 4

AS EACH ELECTRICAL SYSTEM IS COMPLETED, IT SHALL BE TESTED TO ASSURE FREEDOM FROM GROUND AND THAT REQUIRED FUNCTIONS ARE PERFORMED. WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL INSPECTION AGENCY HAVING JURISDICTION. PERFORM SPECIAL RESISTANCE TESTS WHEN REQUESTED BY THE INSPECTION AGENCY TO PROVE THE SYSTEM'S INTEGRITY. FURNISH TO THE OWNER, THRU THE ARCHITECT, A FINAL INSPECTION CERTIFICATE.
- 5

WORK SHALL BE PLANNED AND EXECUTED AS TO PROVIDE REASONABLY CONTINUOUS SERVICE OF EXISTING SYSTEMS. WHERE NECESSARY TO DISRUPT SERVICES FOR SHORT PERIODS OF TIME, COORDINATE AND SCHEDULE OUTAGES WITH THE OWNER.
- 6

THIS CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP, EQUIPMENT AND MATERIAL ENTERING INTO THIS CONTRACT FOR PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 7

FURNISH AN INSPECTION CERTIFICATE OF APPROVAL BY THE LOCAL INSPECTION DEPARTMENT AS A CONDITION OF FINAL ACCEPTANCE.
- 8

PROVIDE ALL CUTTING AND PATCHING NECESSARY TO INSTALL THE WORK.
- 9

THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL EXISTING WORK WHICH IS KINDRED TO HIS TRADE AND WHICH WILL BE SUPERFLUOUS WHEN THE NEW SYSTEM IS INSTALLED. COOPERATE WITH THE GENERAL CONTRACTOR AND REMOVE EXISTING UNUSED CONDUIT TO BEHIND WALLS OR BELOW FLOORS AS NECESSARY OR AS DIRECTED. UPON COMPLETION NO UNUSED CONDUIT OR STUB, OR JUNCTION BOX SHALL EXTEND THRU FLOORS, WALLS OR CEILINGS. ABANDONED CONDUIT WHERE REMAINING IN PLACE SHALL HAVE ALL UNUSED WIRING REMOVED. MATERIAL AND EQUIPMENT, WHICH IS REMOVED, SHALL NOT BE REUSED IN THIS PROJECT.
- 10

WIRING DEVICES AND GROUND FAULT INTERRUPTERS BY HUBBELL-BRYANT, COOPER, LEVITON, OR P&S, EQUAL TO CATALOG NUMBERS SHOWN ON THE DRAWINGS, HEAVY DUTY COMMERCIAL GRADE TYPE. WALL PLATES SHALL BE SMOOTH WITH COUNTERSUNK SCREWS OF COMMERCIAL GRADE NYLON TYPE. TYPE AND COLOR SHALL BE AS SELECTED BY THE ARCHITECT.

- 11

CONDUIT SHALL BE USED FOR ALL WIRING. CONDUIT SYSTEMS MAY BE ANY ONE OR COMBINATION OF THE FOLLOWING, WITHIN RESTRICTING LIMITS INDICATED. CONDUIT TYPES NOT LISTED SHALL NOT BE USED.

A RIGID GALVANIZED CONDUIT – NO RESTRICTIONS.
B INTERMEDIATE GRADE GALVANIZED THREADED CONDUIT – NO RESTRICTIONS.
C THINWALL CONDUIT WITH APPROVED CONNECTOR FITTINGS TO ASSURE GROUNDING CONTINUITY, SUBJECT TO THE FOLLOWING RESTRICTIONS:

1) HAZARDOUS OR CORROSIVE ATMOSPHERES.
2) NOT IN POURED CONCRETE, OUTDOORS, OR UNDERGROUND.
3) NOT EXPOSED BELOW 96".

D FLEXIBLE METAL CONDUIT (MC) GALVANIZED. USE RESTRICTED TO THE FOLLOWING APPLICATIONS:

1) CONNECTIONS TO LIGHTING FIXTURES, MAXIMUM LENGTH 6 FT.
2) CONCEALED IN WALLS.

E LIQUID TIGHT FLEXIBLE METAL CONDUIT WITH WATER TIGHT OIL RESISTANT OUTER PVC COVERING. USE REQUIRED:

1) CONNECTIONS TO MOTORS OR CONTROLS ON DYNAMIC EQUIPMENT.

F PVC TYPE 40 (SCHEDULE 40) RIGID, CONFORMING TO ANSI, NEMA SPECIFICATIONS AND EACH LENGTH U.L. LABELED. APPLICATION – USED LIMITED TO:

1) IN OR UNDER CONCRETE SLABS ON GRADE. MINIMUM OF 6" BELOW BOTTOM OF FLOOR SLAB TO AVOID ANY FUTURE SAW-CUT DAMAGE.
2) EXTERIOR USE WHEN ENCASED IN 3" CONCRETE.
3) DIRECT BURIED, UNDERGROUND WHEN INDICATED ON DRAWINGS.
- 12

CONDUIT FITTINGS SHALL BE MANUFACTURED BY EFCOR, STEEL CITY, RACO, MIDWEST, ETP OR T&B.

A WHERE THE METALLIC CONDUIT SYSTEM IS USED AS THE EQUIPMENT GROUNDING SYSTEM:

1) RIGID CONDUIT – COUPLINGS SHALL BE THREADED STEEL. CONNECTORS SHALL BE SET SCREW, ALL STEEL, CONCRETE TIGHT WITH NON- INSULATED THROAT. GROUNDING BUSHINGS, MALLEABLE IRON, INSULATED.
2) EMT – FITTINGS SHALL BE ALL STEEL COMPRESSION TYPE, CONCRETE TIGHT.
3) FLEXIBLE CONDUIT – MALLEABLE IRON, "SQUEEZE" TYPE.
4) LIQUID-TIGHT CONDUIT – STEEL OR MALLEABLE IRON.
- 13

DEVICE AND JUNCTION BOXES GALVANIZED STEEL, CODE GAUGE AND SIZE BY STEEL CITY, RACO, APPLETON OR R&S. BOXES CONNECTING MORE THAN ONE PAIR OF CONDUCTORS SHALL BE MINIMUM 4" X 4", OR 4" OCTAGONAL SIZE. USE ADAPTER PLATES FOR DEVICES WHERE NUMBER OF CONNECTIONS OR OTHER CONDITIONS DICTATE.
- 14

ALL CONDUCTORS SHALL BE COPPER. MINIMUM SIZE #12 AWG FOR BRANCH CIRCUITS; #14 AWG FOR CONTROL CIRCUITS. BUILDING WIRING SHALL BE INSULATED FOR 600 VOLT, TYPE THWN, XHHW, OR THHN, SUBJECT TO MOISTURE AND HEAT LIMITATIONS STATED IN CODE. USE ONLY THHN OR XHHW CONDUCTORS FOR CONNECTIONS TO LIGHTING FIXTURES.
- 15

MISCELLANEOUS ITEMS OF EQUIPMENT REQUIRE WIRING CONNECTIONS AS SHOWN. FURNISH POWER AND CONTROL SOURCES FOR THESE AS SHOWN. OBTAIN ROUGH-IN DRAWINGS AND INFORMATION ON FURNISHED CONTROLS FROM THE EQUIPMENT SUPPLIER. PLACE DISCONNECTS AND CONNECTION BOXES IN AN INCONSPICUOUS BUT ACCESSIBLE LOCATION. COORDINATE LOCATIONS WITH EQUIPMENT SUPPLIER AND THE ARCHITECT.
- 16

DISCONNECT SWITCHES HEAVY DUTY WITH LOCKING DEVICES, FUSED WHERE USED TO PROTECT CIRCUIT WIRING. PROVIDE GROUNDING KIT WHERE USED FOR SERVICE ENTRANCE.

END

PRESERVATION PARKS OF DELAWARE COUNTY

HISTORIC SCHOOL HOUSE RENOVATIONS

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11/12/2025		
REVISIONS:		
#	DATE	DESCRIPTION



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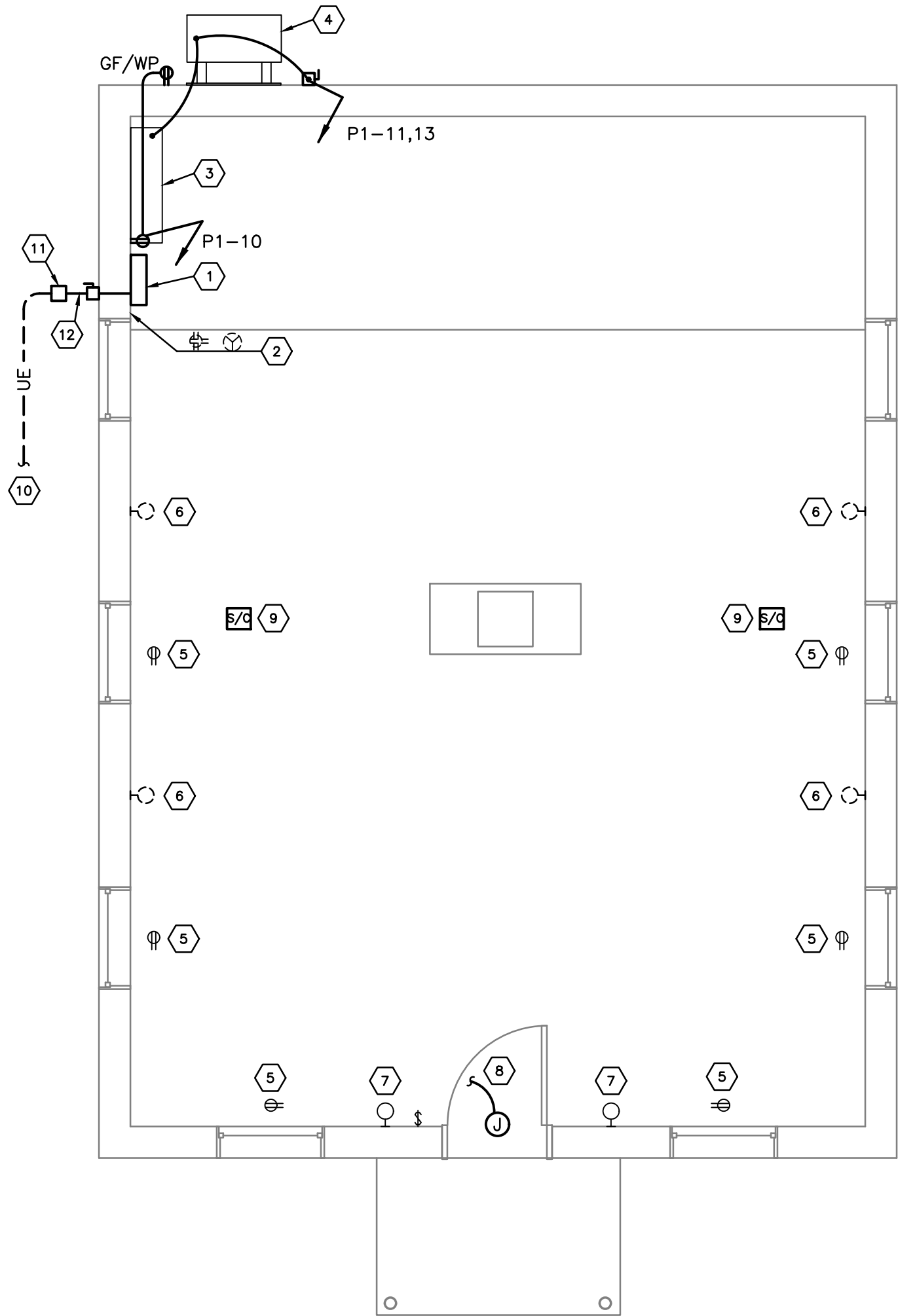
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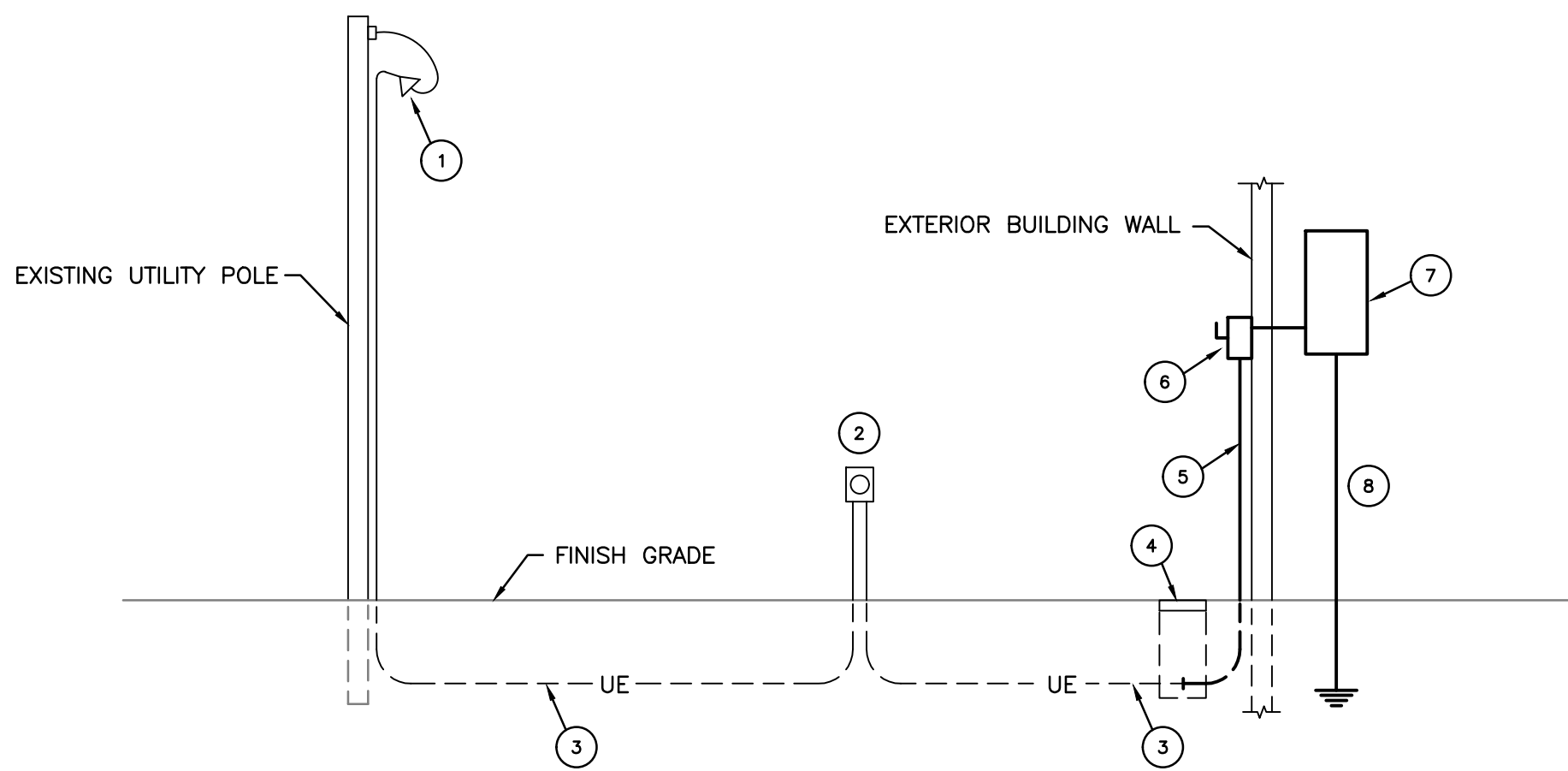
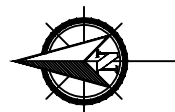
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HVAC & ELECTRICAL SPECIFICATIONS

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ELECTRICAL
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



RISER DIAGRAM

SCALE: NONE

NOMENCLATURE

- EXISTING UTILITY COMPANY WEATHERHEAD AND CONDUIT.
- EXISTING ELECTRIC METER.
- EXISTING UNDERGROUND ELECTRIC SERVICE.
- EXISTING ELECTRICAL IN GROUND PULL BOX.
- NEW 2" CONDUIT AND FEEDERS. VERIFY AND MATCH EXISTING FEEDER SIZE AND TYPE.
- NEW 150 A. FUSED DISCONNECT SWITCH, WEATHERPROOF TYPE NEMA 3R.
- RELOCATED 150 A. ELECTRICAL PANEL.
- #6 GROUND TO DRIVEN ROD.

EXISTING ELECTRICAL PANEL SCHEDULE											
PANEL: P1				FED FROM: SERVICE ENTRANCE							
CONNECTED LOAD: 11.5 KVA				DEMAND LOAD: 9.8 KVA (41 A)							
VOLTAGE & PHASE: 120/240V--60HZ--1 PHASE						PANEL RATING: 150 AMP					
MOUNTING TYPE: SURFACE											
MAINS: 150A. MAIN BREAKER											
MANUFACTURER: SIEMANS						MODEL: TYPE 1					
NOTES: (1) (2)											
		PHASE LOAD (KVA)				PHASE LOAD (KVA)					
DESCRIPTION	A	B	BKR.			BKR.	A	B		DESCRIPTION	
RECEPTACLE	1.0		20	1	A 2	60	-			SPARE	
SPARE	-	-	20	3	B 4			-			
	-		20	5	A 6	20	-			SPARE	
FLOOR RECEPT.	1.0	15	7	B 8				-			
LIGHTING	0.5		15	9	A 10	20	1.0			RECEPTACLES	
MINI-SPLIT		4.0		11	B 12						
HEAT PUMP UNIT	4.0		35	13	A 14						
				15	B 16						
				17	A 18						
				19	B 20						
				21	A 22						
				23	B 24						
				25	A 26						
				27	B 28						
				29	A 30						
				31	B 32						
				33	A 34						
				35	B 36						
				37	A 38						
				39	B 40						
				41	A 42						

- IDENTIFY BRANCH CIRCUITS WITH AN APPROVED DEGREE OF DETAIL THAT ALLOWS EACH CIRCUIT TO BE IDENTIFIED FROM ALL OTHERS.
- PROVIDE NEW TYPE WRITTEN PANEL DIRECTORY.

GENERAL NOTES

- VERIFY THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT PRIOR TO ROUGH-IN. FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURERS APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT ACTUALLY SUPPLIED.
- ALL CONDUITS SHALL BE CONCEALED WITHIN WALLS, CEILINGS OR FLOORS UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR PRE-APPROVED BY THE ENGINEER.
- INSTALL A SEPARATE GROUNDING CONDUCTOR, INSULATED GREEN, IN ALL CONDUITS. WHERE WIRING COUNTS ARE INDICATED ON DRAWINGS. THESE WIRING COUNTS EXCLUDE THE GROUNDING CONDUCTOR; HOWEVER, GROUNDING CONDUCTOR IS REQUIRED.
- INCREASE BRANCH CIRCUIT CONDUCTORS TO ACCOMMODATE FOR VOLTAGE DROP. 120V CIRCUITS OVER 100' SHALL BE #10 AWG MINIMUM.
- ALL DEVICES, EQUIPMENT, FIXTURES, ETC., MUST BE GROUNDED BY USE OF A PROPERLY SIZED GROUNDING CONDUCTOR. MECHANICAL/ELECTRICAL BONDS OF THE METALLIC RACEWAY SYSTEM SHALL ALSO BE MAINTAINED.
- CONNECT EXIT AND EMERGENCY LIGHTING FIXTURES TO LOCAL LIGHTING CIRCUIT AHEAD OF LOCAL SWITCHING.
- REFER TO MECHANICAL PLANS FOR EXACT LOCATION OF MECHANICAL EQUIPMENT AND LOCATE DISCONNECT SWITCHES IN ACCORDANCE WITH THE N.E.C.
- ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING AND PATCHING REQUIRED FOR THE PROPER INSTALLATION, SUPPORT, OR ANCHORAGE OF ELECTRICAL EQUIPMENT.

NOTES

- EXISTING ELECTRICAL PANEL SHALL BE RELOCATED ON WALL. VERIFY EXACT LOCATION WITH ARCHITECT AND OWNER.
- REMOVE EXISTING DOUBLE DUPLEX RECEPTACLE AND 240V-2 PHASE RECEPTACLE AND PROVIDE ONE (1) NEW DUPLEX RECEPTACLE ADJACENT TO THE ELECTRICAL PANEL.
- MINI-SPLIT AIR CONDITIONING UNIT.
- HEAT PUMP UNIT.
- EXISTING DUPLEX RECEPTACLES IN FLOOR.
- REMOVE EXISTING WALL LIGHTING FIXTURE INCLUDING WIRING AND ARMORED CABLE BACK TO SOURCE.
- EXISTING WALL LIGHTING FIXTURE. RECESS ARMORED CABLE IN WALL TO PROVIDE FOR NEW PLASTER WALL FINISH. COORDINATE WORK WITH C.C.
- PROVIDE JUNCTION BOX WITH POWER WIRING FOR FUTURE EXIT/EMERGENCY LIGHTING FIXTURE. LOCATE JUNCTION BOX 18" ABOVE DOOR OPENING. CONNECT WIRING TO LIGHTING CIRCUIT AHEAD OF LOCAL SWITCHING.
- SMOKE/CARBON MONOXIDE DETECTOR BY OWNER.
- EXISTING UNDERGROUND ELECTRIC SERVICE.
- EXISTING ELECTRICAL IN GROUND PULL BOX.
- MODIFY EXISTING ELECTRICAL SERVICE ENTRANCE FOR RELOCATION OF EXISTING ELECTRICAL PANEL.

ELECTRICAL LEGEND

(NOT ALL SYMBOLS ON THE LEGEND APPLY TO THIS PROJECT)

- | | |
|--------|--|
| EC | ELECTRICAL CONTRACTOR |
| HC | HVAC CONTRACTOR |
| PC | PLUMBING CONTRACTOR |
| F.P.C. | FIRE PROTECTION CONTRACTOR |
| GC | GENERAL CONTRACTOR |
| | CONNECT TO EXISTING SYMBOL. |
| | PLAN NOTE SYMBOL - ONLY APPLIES TO THE SHEET ON WHICH NOTE IS SHOWN. |
| A1 | P1 LIGHT FIXTURE; CAPITAL LETTER DENOTES FIXTURE TYPE. LOWER CASE LETTER DENOTES SWITCHING ARRANGEMENT. P1 INDICATES PANEL CIRCUIT NUMBER. |
| | WALL MOUNTED LIGHT FIXTURE. |
| | BRANCH CIRCUIT HOMERUN TO PANELBOARD. WIRE INSTALLED IN CONDUIT. CAPITAL LETTERS INDICATE PANEL. NUMBER INDICATES CIRCUIT. |
| | EMERGENCY FLOODLIGHTS WITH INTEGRAL BATTERY. |
| | LED EXIT LIGHT, 120V. |
| | LED EXIT LIGHT WITH INTEGRAL BATTERY BACK-UP AND EMERGENCY FLOODLIGHTS, 120 VOLT. |
| | LIGHT SWITCH - 20 AMP, 120/277 VOLT, 42" MOUNTING HEIGHT. |
| | OCCUPANCY SENSOR/VACANCY SENSOR, WALL MOUNT WITH ON/OFF SWITCH AND AN ADJUSTABLE TIME DELAY. HUBBELL #IWZP-3P-W OR EQUAL BY LEVITON OR GREENGATE. 42" MOUNTING HEIGHT. |
| | DIMMER SWITCH. |
| | DUPLEX RECEPTACLE, 20 AMP, 120 VOLT, 18" HEIGHT UNLESS OTHERWISE NOTED. |
| | DOUBLE DUPLEX RECEPTACLE, 20 AMP, 120 VOLT, 18" HEIGHT UNLESS OTHERWISE NOTED. |
| GF | GFCI TYPE DUPLEX RECEPTACLE, 20 AMP, 120 VOLT, 18" HEIGHT UNLESS OTHERWISE NOTED. |
| | JUNCTION BOX. |
| | DISCONNECT SWITCH. |
| | SPECIAL SINGLE RECEPTACLE, NEMA 15-20R |
| | UNDERGROUND ELECTRIC. |
| | FIRE ALARM SMOKE DETECTOR. |
| | COMBINATION SMOKE/CARBON MONOXIDE DETECTORS. |

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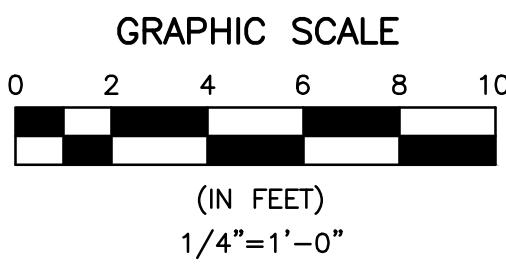
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ELECTRICAL FIRST FLOOR PLAN

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